

PIC-1



PIC-2



PIC-3



PIC-4

LEGEND OF SYMBOLS

102

104

108

106

A1

UNIT NUMBER

BUILDING TYPE

N.I.C.

INDICATES BUILDING NOT IN CONTRACT

PIC 1

C-1

PICTURE NUMBER AND DIRECTION OF VIEW

SHEET PICTURE FOUND ON

CONCRETE WALKS/STOOPS TO BE REMOVED

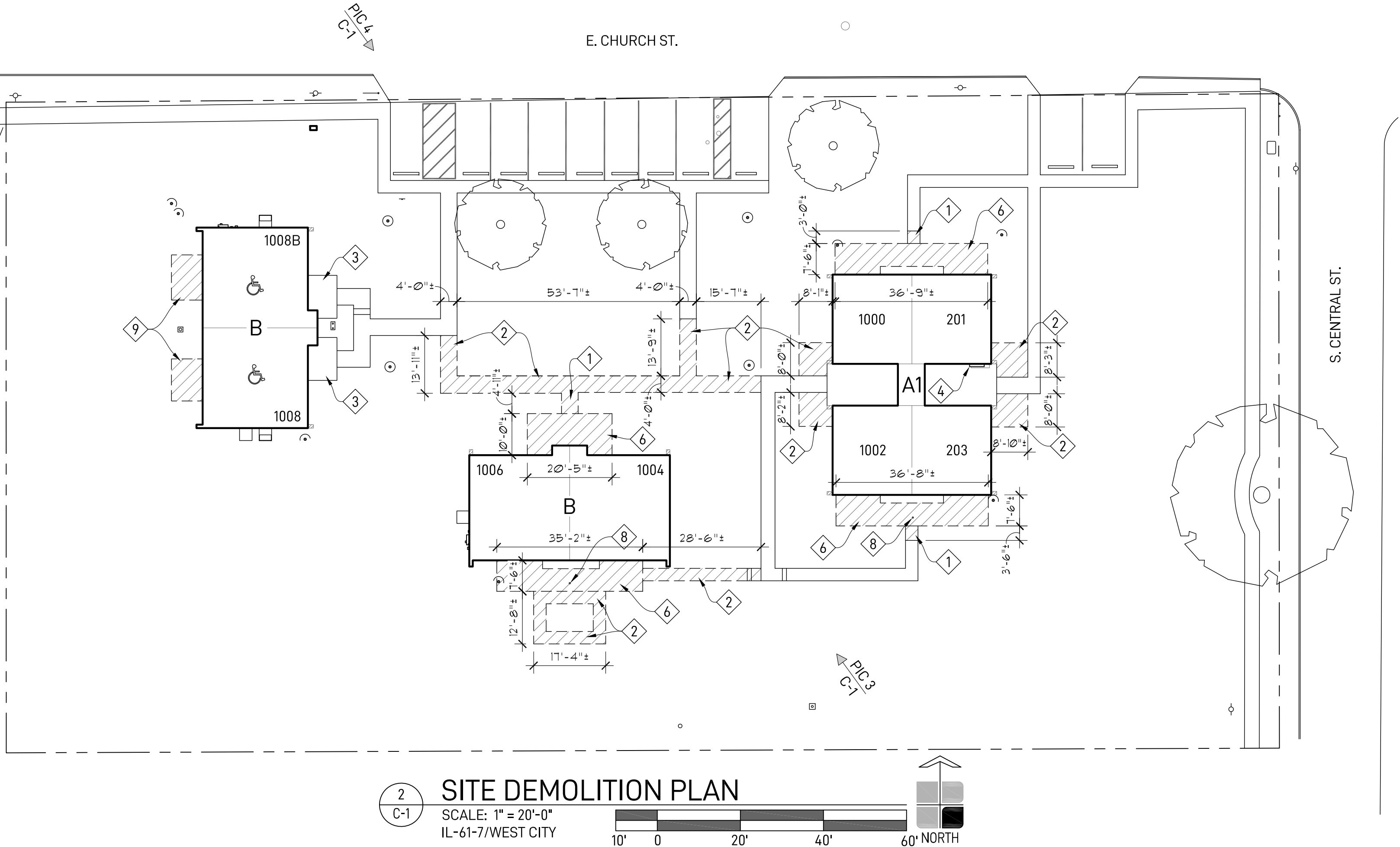
EXISTING SITE LIGHTING TO REMAIN

EXISTING UTILITY POLE TO REMAIN

EXISTING PEDESTAL TO REMAIN

EXISTING SATELLITE DISH TO REMAIN. COORDINATE WITH PHA IF SATELLITE DISH NEEDS TO BE REMOVED/RELOCATED.

CLOTHESLINE POST



2 C-1

SITE DEMOLITION PLAN

SCALE: 1" = 20'-0"

IL-61-7/WEST CITY

10'

0

20'

40'

60'

NORTH

SITE DEMOLITION GENERAL NOTES

1.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND MAKE ADJUSTMENTS AS NECESSARY TO WORK WITH EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.

2.

DIMENSIONS GIVEN ARE FOR CONTRACTORS GENERAL INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY EXACT DIMENSIONS.

3.

CONTRACTOR SHALL FINE GRADE, FERTILIZE, SEED AND STRAW ALL AREAS OF THE SITE DISTURBED BY WORK IN THIS PROJECT. SEE SPEC SECTION 32 92 00. BACKFILL & PROVIDE TOPSOIL IN AREAS WALKS OR PAVING ARE REMOVED.

4.

IT IS CONTRACTORS RESPONSIBILITY TO DETECT AND LOCATE ANY AND ALL UNDERGROUND UTILITIES INCLUDING PHA OWNED UTILITIES. CONTRACTOR SHALL NOT DISTURB EXISTING UTILITIES UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY CONFLICTS WHICH MAY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.I.E. BEFORE BEGINNING CONSTRUCTION AND ANYTIME UTILITY MARKINGS NEED TO BE RE-ESTABLISHED. (PHONE: 800-892-0123).

5.

ALL EXISTING SIDEWALKS NOT NOTED FOR DEMOLITION SHALL REMAIN. TAKE CARE NOT TO DAMAGE

6.

ALL FINISHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL IN MATERIAL AND APPEARANCE TO THAT OF WHICH EXISTED BEFORE CONSTRUCTION BEGAN.

7.

ANY TENANT LANDSCAPING OR PERSONAL BELONGINGS THAT WILL BE DISTURBED BY THE WORK IN THIS CONTRACT SHALL BE CAREFULLY REMOVED AND RELOCATED OR STORED. COORDINATE WITH PHA.

SITE DEMOLITION KEY NOTES '◇'

1

SAW CUT AND REMOVE 4"± THICK REINFORCED CONCRETE WALK TO NEAREST JOINT. EXCAVATE SOIL BELOW DEMOLISHED SLAB FOR INSTALLATION OF NEW AGGREGATE BASE AND CONCRETE WALK. ASSUME WIDTH OF EXISTING WALKS TO BE APPROXIMATELY 3'-0".

2

SAW CUT AND REMOVE 4"± THICK REINFORCED CONCRETE WALKS/PAVING AND BASE COURSE TO EXTENTS SHOWN.

3

EXISTING CONC. STOOP TO REMAIN.

4

EXISTING ELECTRIC METER BANK TO REMAIN. TAKE CARE NOT TO DAMAGE.

5

EXISTING WINGWALL WITH ELECTRIC METER BANK TO REMAIN

6

SAW CUT AND REMOVE 4"± THICK REINFORCED CONCRETE STOOP INCLUDING FROSTWALL/FOOTINGS. EXCAVATE SOIL BELOW DEMOLISHED SLAB FOR INSTALLATION OF NEW AGGREGATE BASE AND CONCRETE STOOP.

7

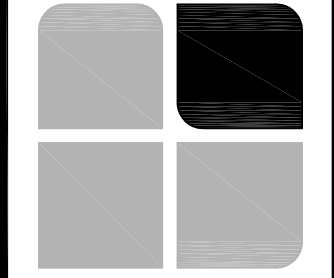
EXISTING WATER METER - TAKE CARE NOT TO DAMAGE.

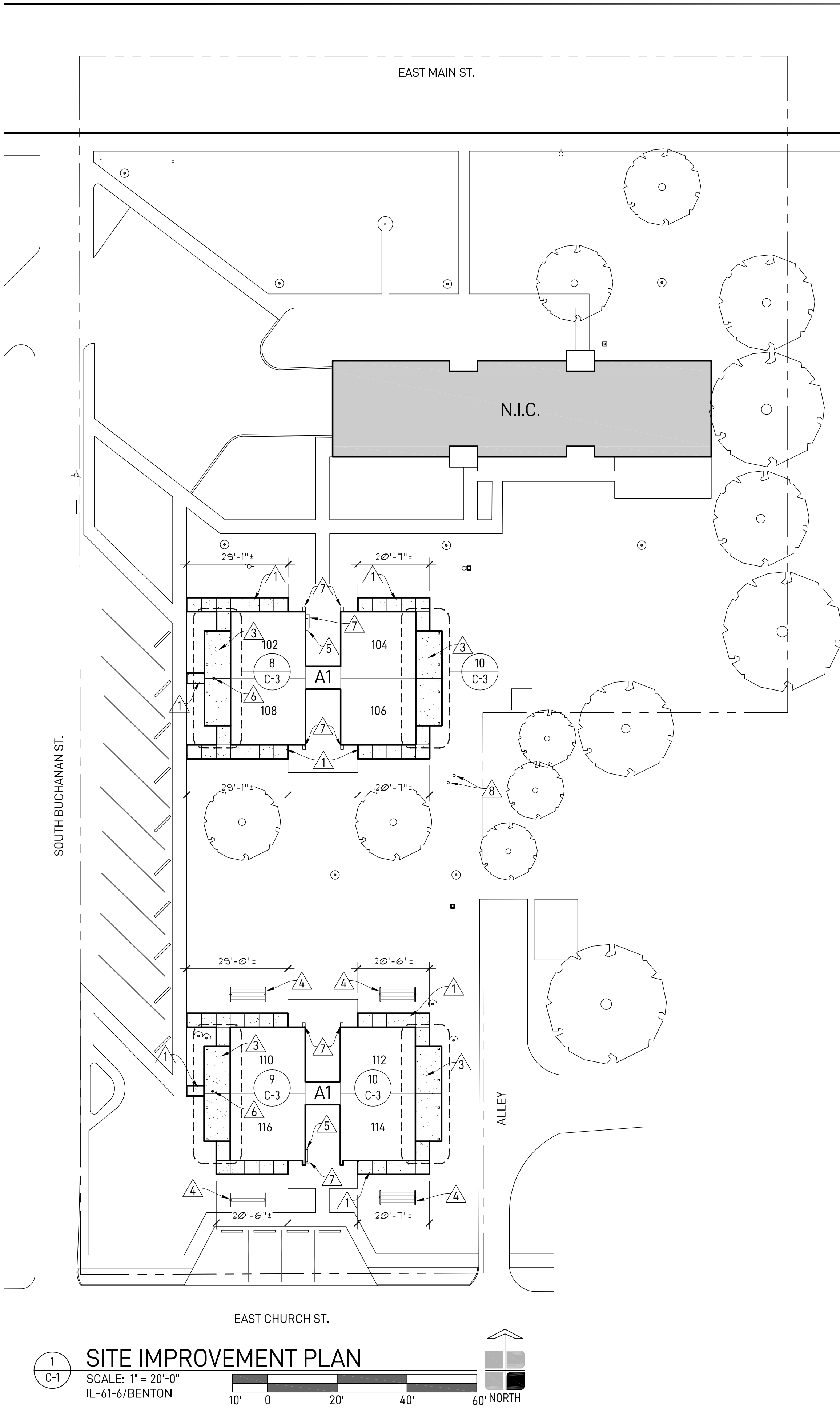
8

APPROXIMATE LOCATION OF EXISTING CLEANOUT. TAKE CARE NOT TO DAMAGE WHEN REMOVING STOOP.

9

SAW-CUT AND REMOVE 4"± THICK REINFORCED CONCRETE STOOP AND BASE COURSE TO EXTENTS SHOWN.





1
C-1

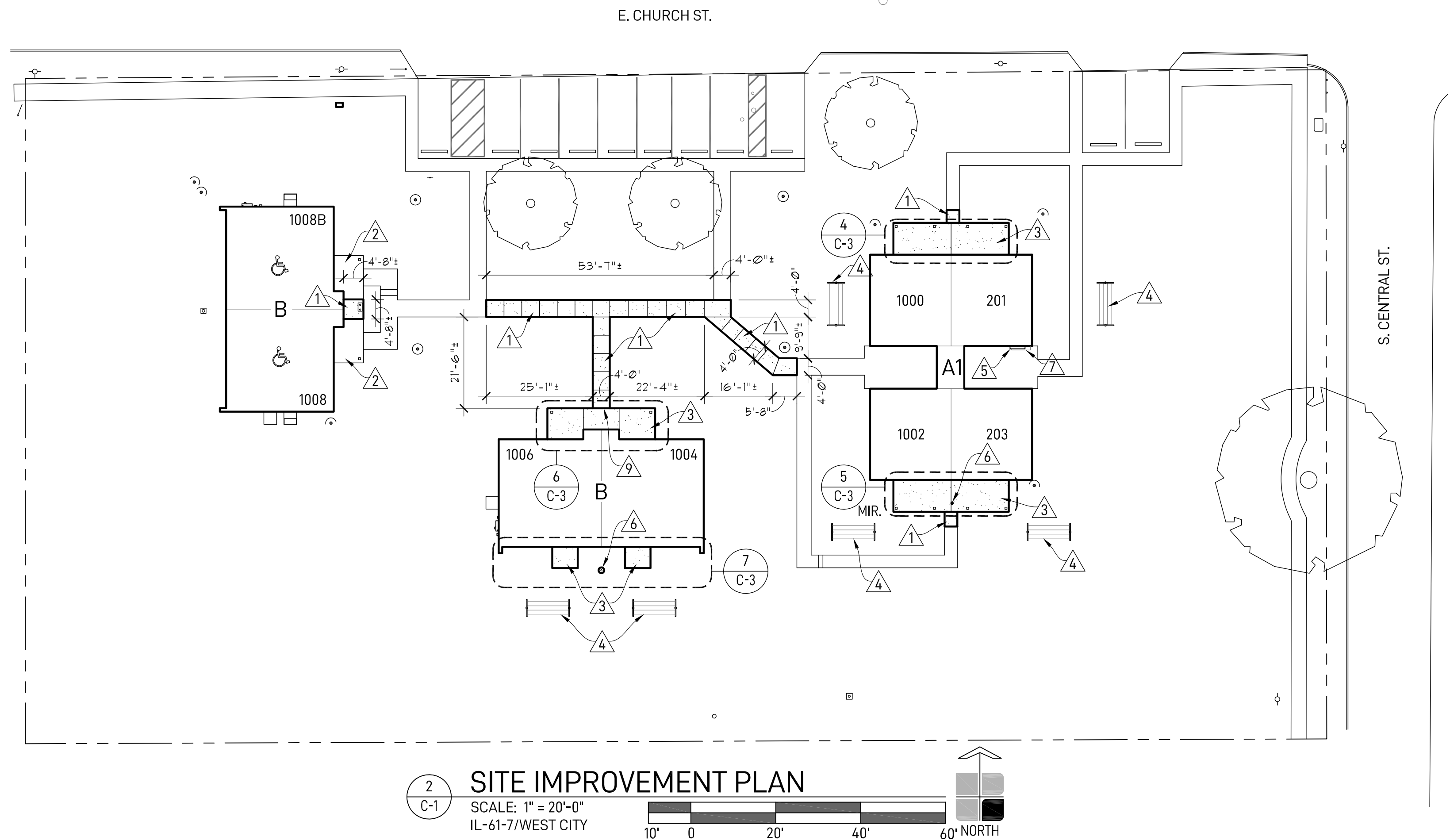
SITE IMPROVEMENT PLAN
SCALE: 1" = 20'-0"
IL-61-6/BENTON

10' 0 20' 40' 60' NORTH

LEGEND OF SYMBOLS (SHEETS C-2 THRU C-3)	
	UNIT NUMBER BUILDING TYPE
	INDICATES BUILDING NOT IN CONTRACT
	4" THK CONCRETE WALK OVER TYPE "B" BACKFILL - SEE TYPICAL DETAIL ON SHEET C-3.
	EXISTING SITE LIGHTING TO REMAIN
	EXISTING UTILITY POLE TO REMAIN
	EXISTING PEDESTAL TO REMAIN
	EXISTING SATELLITE DISH TO REMAIN. COORDINATE WITH PHA IF SATELLITE DISH NEEDS TO BE REMOVED/RELOCATED
	CONTROL JOINT
	CLOTHESLINE POST
	DETAIL NUMBER SHEET DETAIL FOUND ON

- ### SITE IMPROVEMENT GENERAL NOTES (SHEETS C-2 THRU C-3)
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND MAKE ADJUSTMENTS AS NECESSARY TO WORK WITH EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
 - DIMENSIONS GIVEN ARE FOR CONTRACTORS GENERAL INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY EXACT DIMENSIONS.
 - CONTRACTOR SHALL FINE GRADE, FERTILIZE, SEED AND STRAW ALL AREAS OF THE SITE DISTURBED BY WORK IN THIS PROJECT. SEE SPEC SECTION 32 92 00. BACKFILL & PROVIDE TOPSOIL IN AREAS WALKS OR PAVING ARE REMOVED.
 - IT IS CONTRACTORS RESPONSIBILITY TO DETECT AND LOCATE ANY AND ALL UNDERGROUND UTILITIES INCLUDING PHA OWNED UTILITIES. CONTRACTOR SHALL NOT DISTURB EXISTING UTILITIES UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY CONFLICTS WHICH MAY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.I.I.E. BEFORE BEGINNING CONSTRUCTION AND ANYTIME UTILITY MARKINGS NEED TO BE RE-ESTABLISHED. (PHONE: 800-892-0123).
 - MATCH EXISTING ADJOINING WALKS FOR A SMOOTH TRANSITION. NEW WALKS SHALL NOT EXCEED 5% SLOPE IN DIRECTION OF FLOW AND 2% CROSS SLOPE.
 - CONTRACTOR SHALL INSTALL 1/2" EXPANSION JOINT WITH SEALANT WHERE NEW CONCRETE MEETS EXISTING AND WHERE NEW WALKS INTERSECT. INSTALL SMOOTH DOWELS WITH SLIP CAP ON ONE END AT 2'-0" O.C.
 - SEE SECTION 01 45 29 FOR MATERIAL TESTING REQUIREMENTS.
 - BACKFILL ALONG NEW CONCRETE WALKS AFTER REMOVAL OF FORMS.
 - PROVIDE TERMITE PROTECTION AT ALL DISTURBED AREAS ADJACENT TO BUILDING INCLUDING STOOPS, WALKS, ETC. SEE SPEC SECTION 31 31 16.

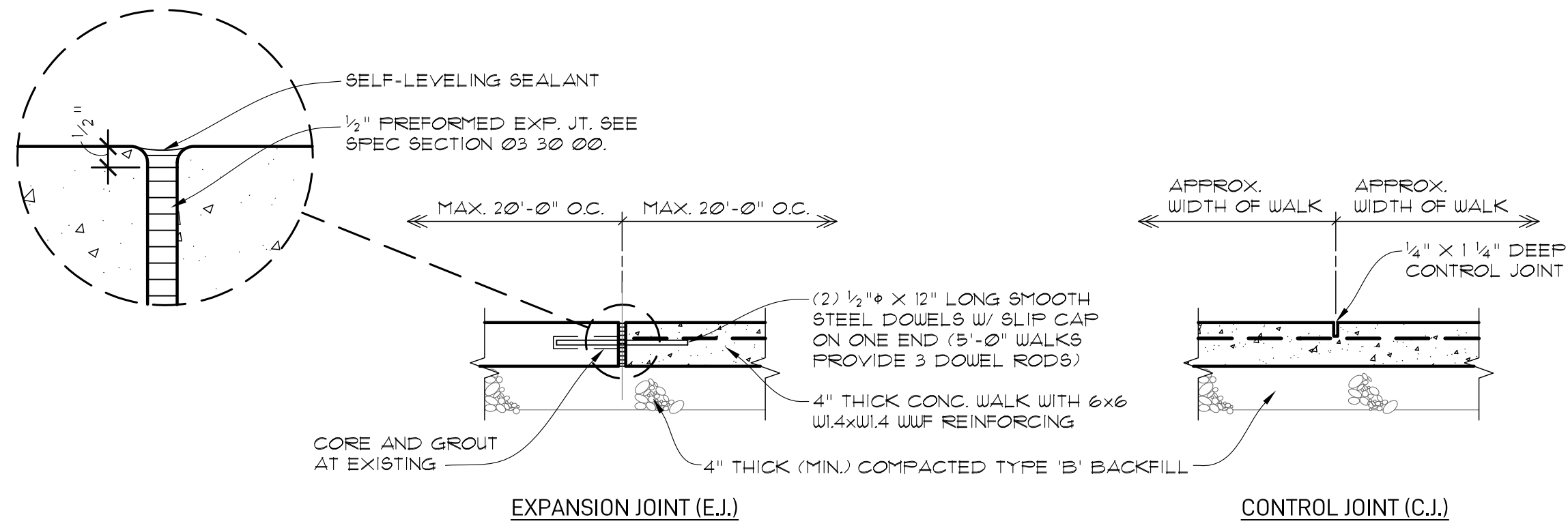
- ### SITE IMPROVEMENT KEY NOTES '△' (SHEETS C-2 THRU C-3)
- NEW 4" THK. CONCRETE WALK / PAVING REINFORCED WITH 6x6 W1.4xW1.4 WWF OVER 4" TYPE 'B' BACKFILL. NEW WALKS SHALL MATCH ELEVATION OF EXISTING WALKS/STOOPS (UNLESS NOTED OTHERWISE) TO CREATE A SMOOTH TRANSITION. SEE DETAIL 1/C-3.
 - EXISTING CONCRETE STOOP TO REMAIN - TAKE CARE NOT TO DAMAGE.
 - NEW CONCRETE STOOP - MATCH EXISTING ELEVATION. SEE DETAIL ON SHEET C-3.
 - PROVIDE AND INSTALL NEW CLOTHESLINE POSTS. PROVIDE NEW LINES. SEE DETAIL 2/C-3.
 - EXISTING ELECTRICAL METER BANK TO REMAIN. TAKE CARE NOT TO DAMAGE.
 - APPROXIMATE LOCATION OF EXISTING CLEANOUT. SEE PE SHEETS.
 - NEW CONCRETE INFILL. INSTALL FLUSH WITH EXISTING CONCRETE.
 - EXISTING WATER METER - TAKE CARE NOT TO DAMAGE.
 - PROVIDE 5"± STEP BETWEEN STOOP AND SIDEWALK.



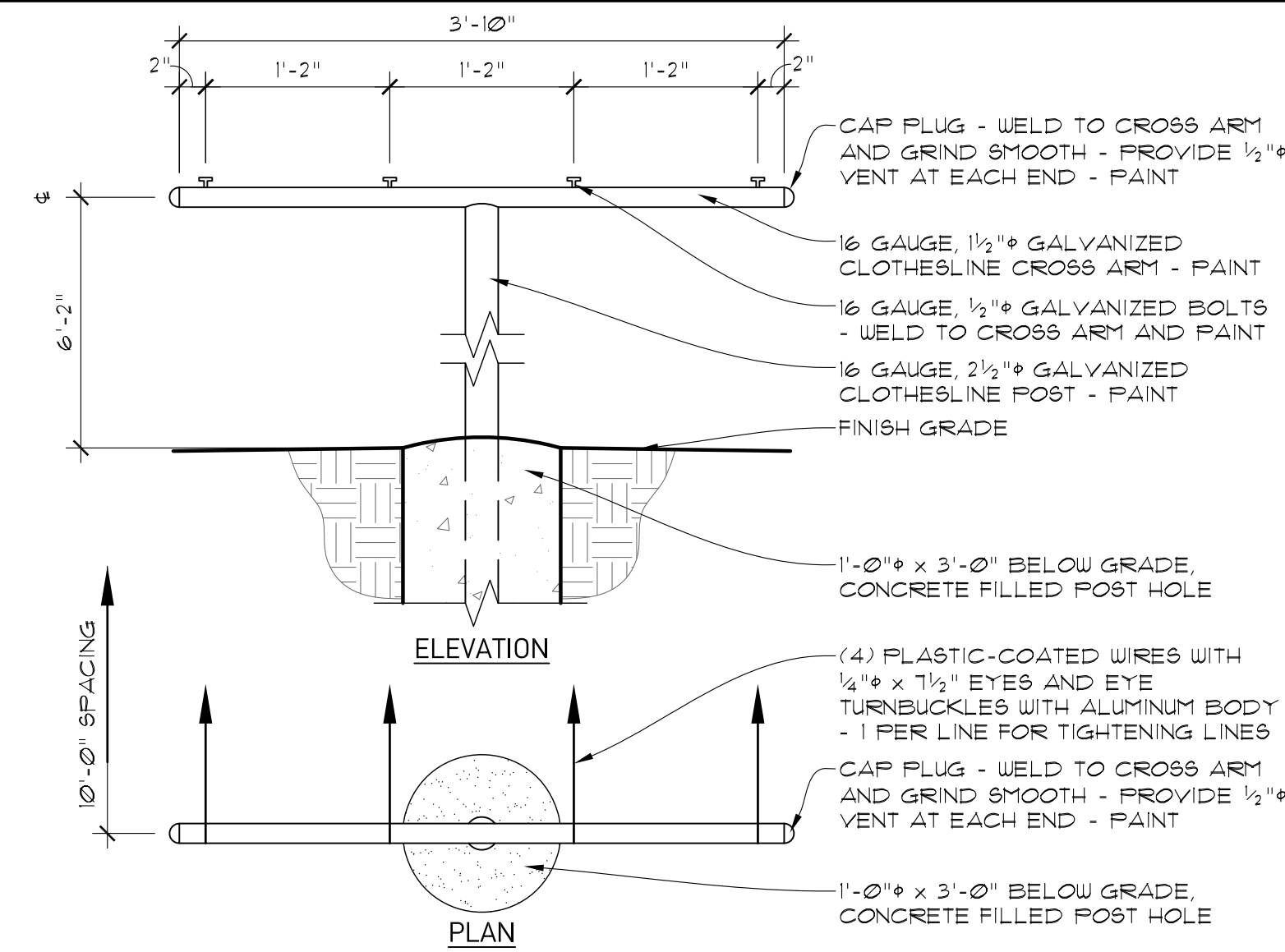
2
C-1

SITE IMPROVEMENT PLAN
SCALE: 1" = 20'-0"
IL-61-7/WEST CITY

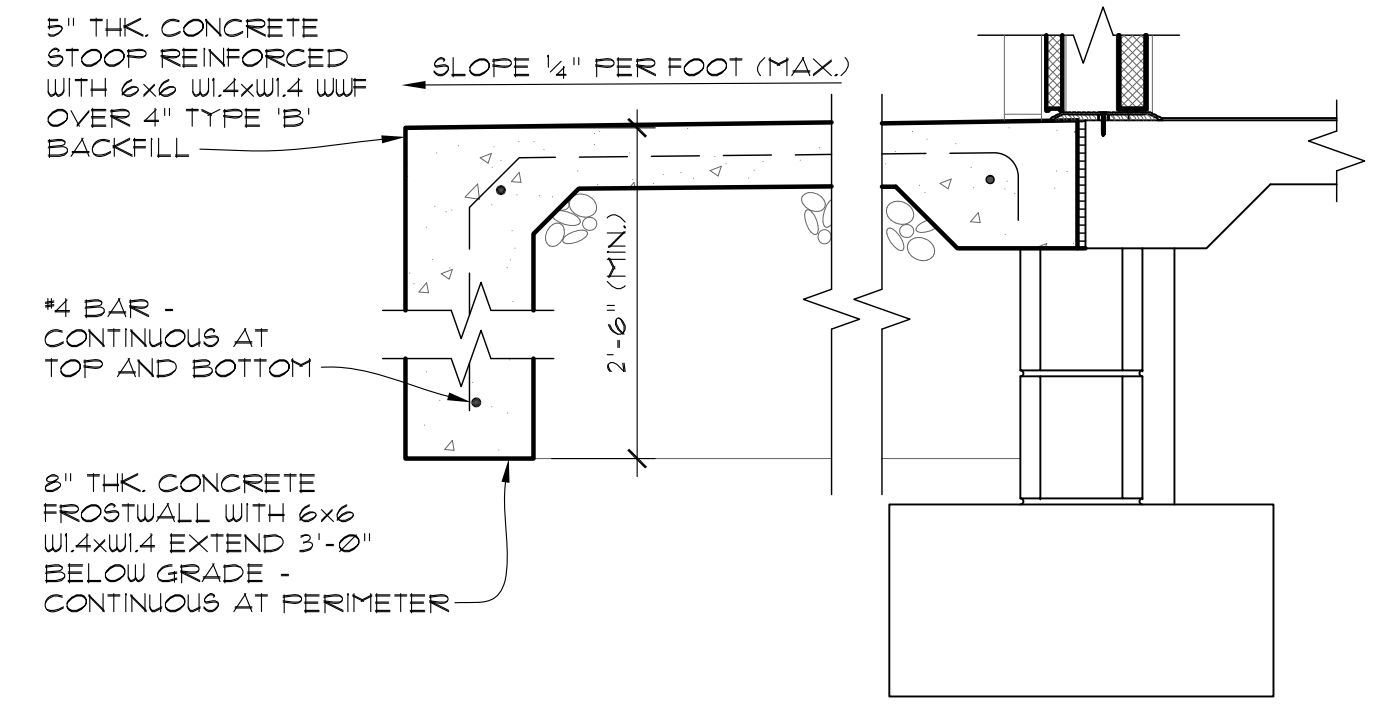
10' 0 20' 40' 60' NORTH



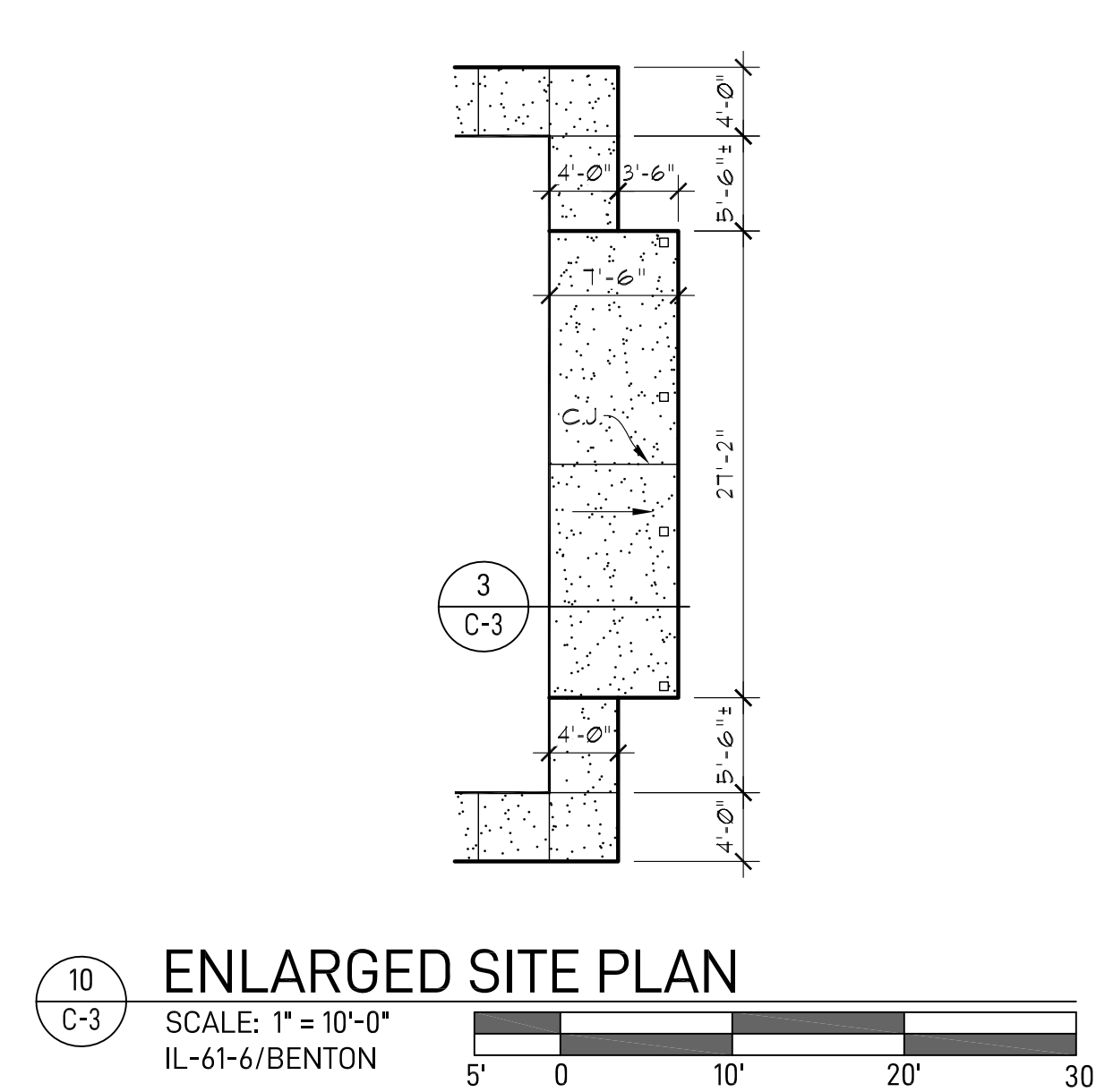
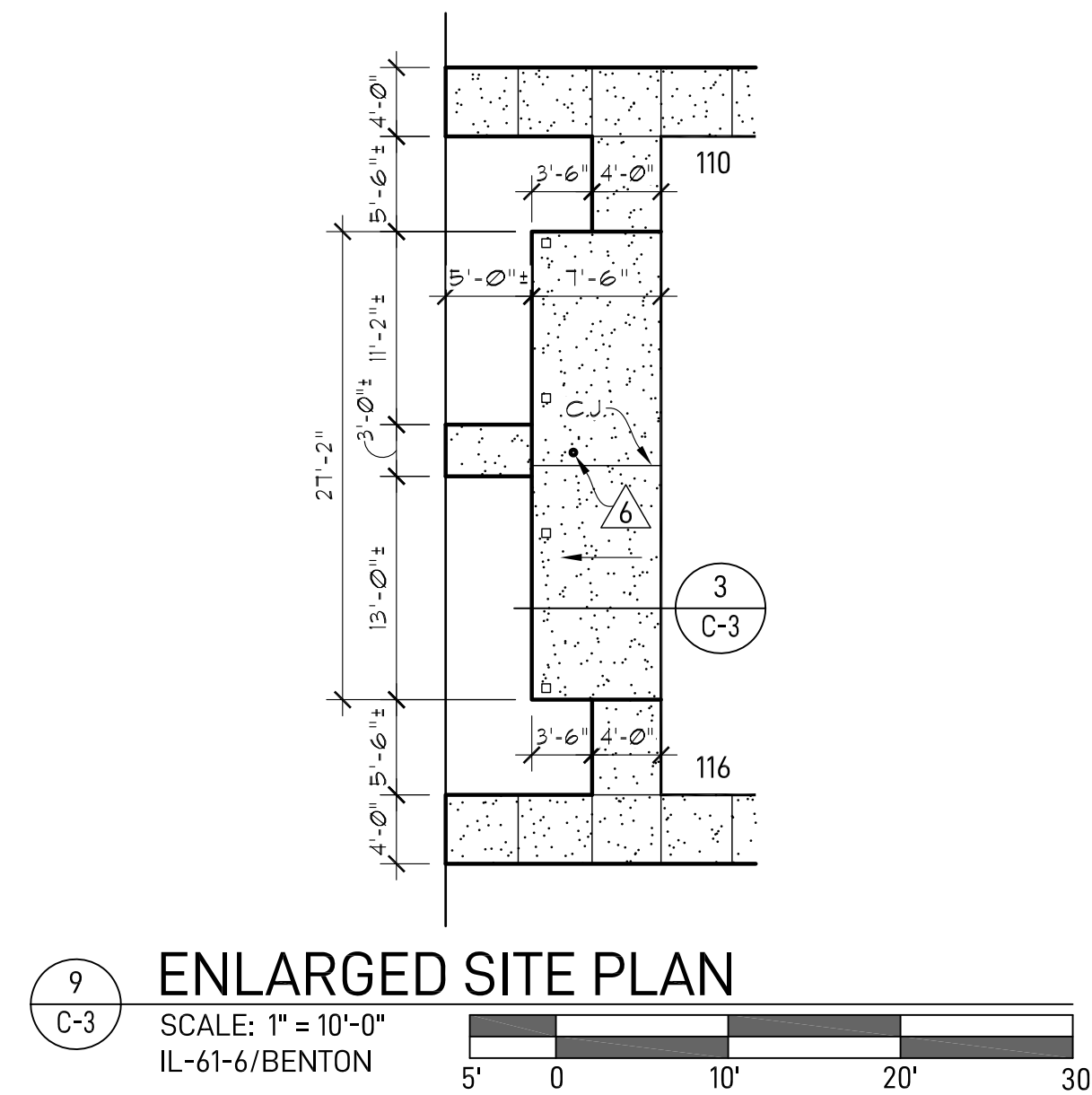
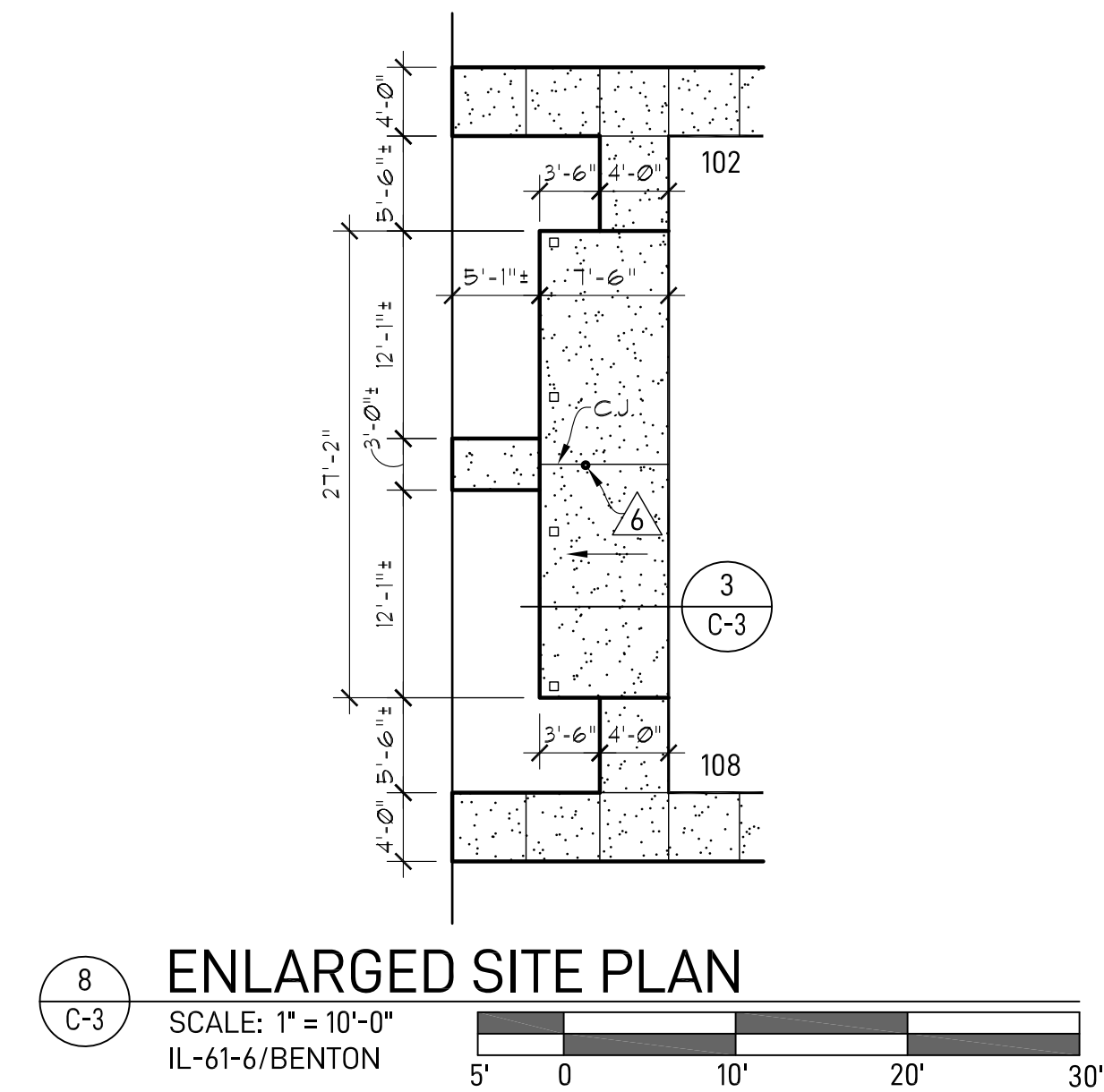
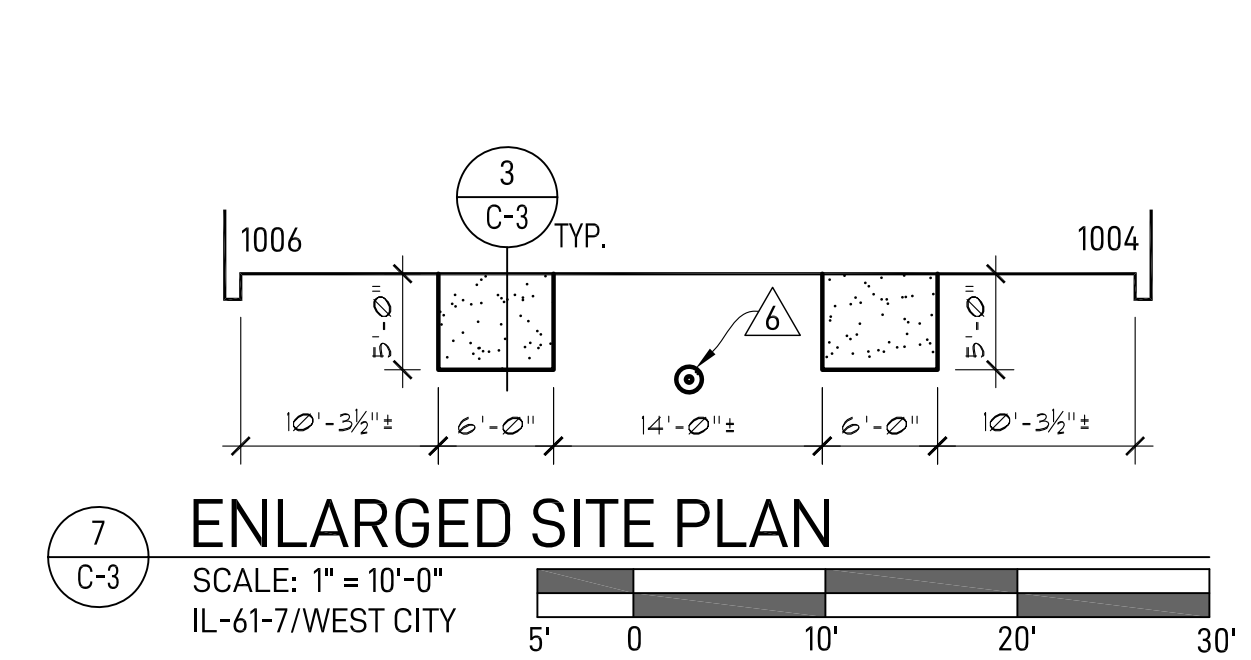
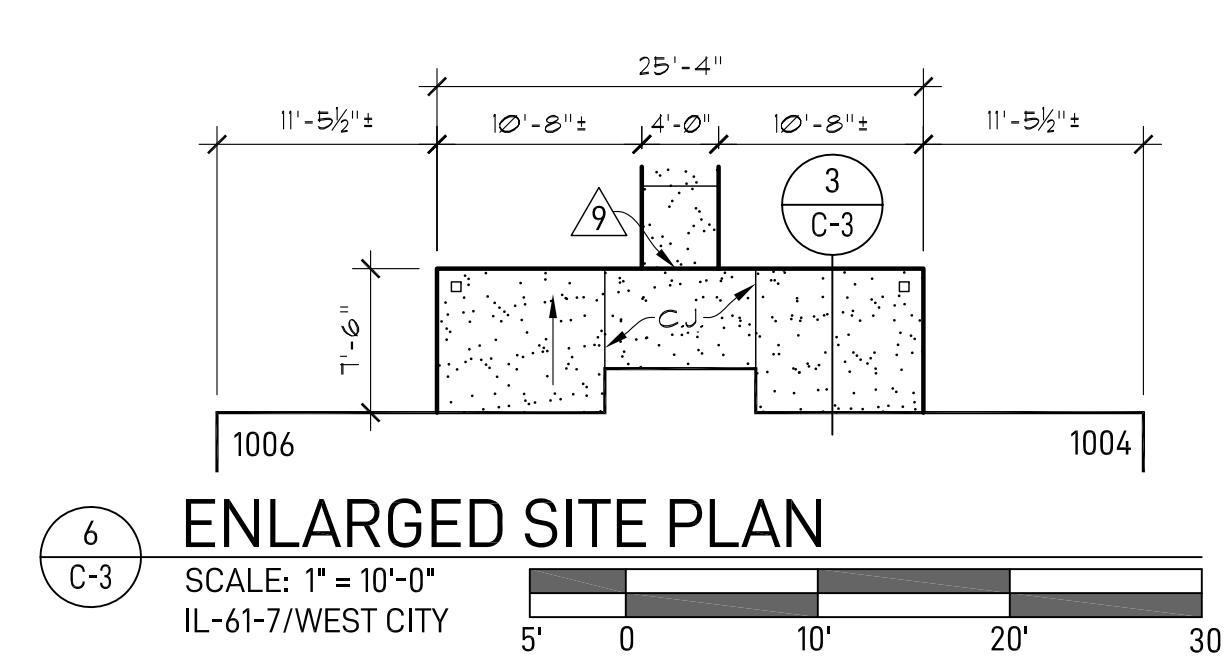
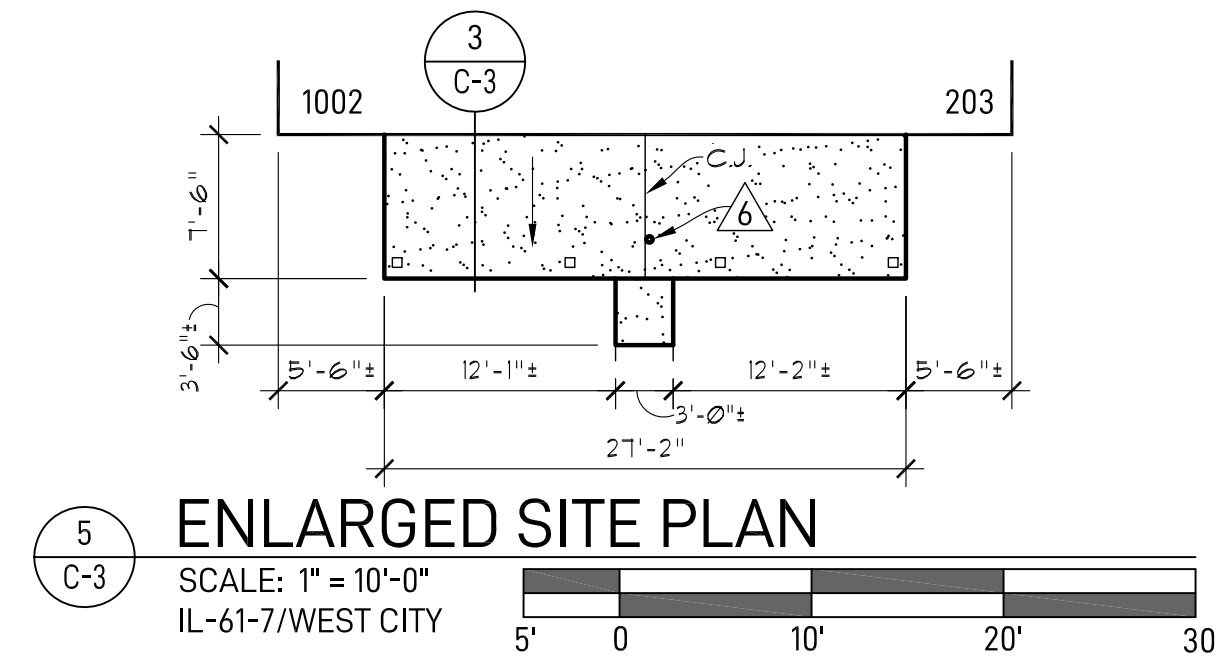
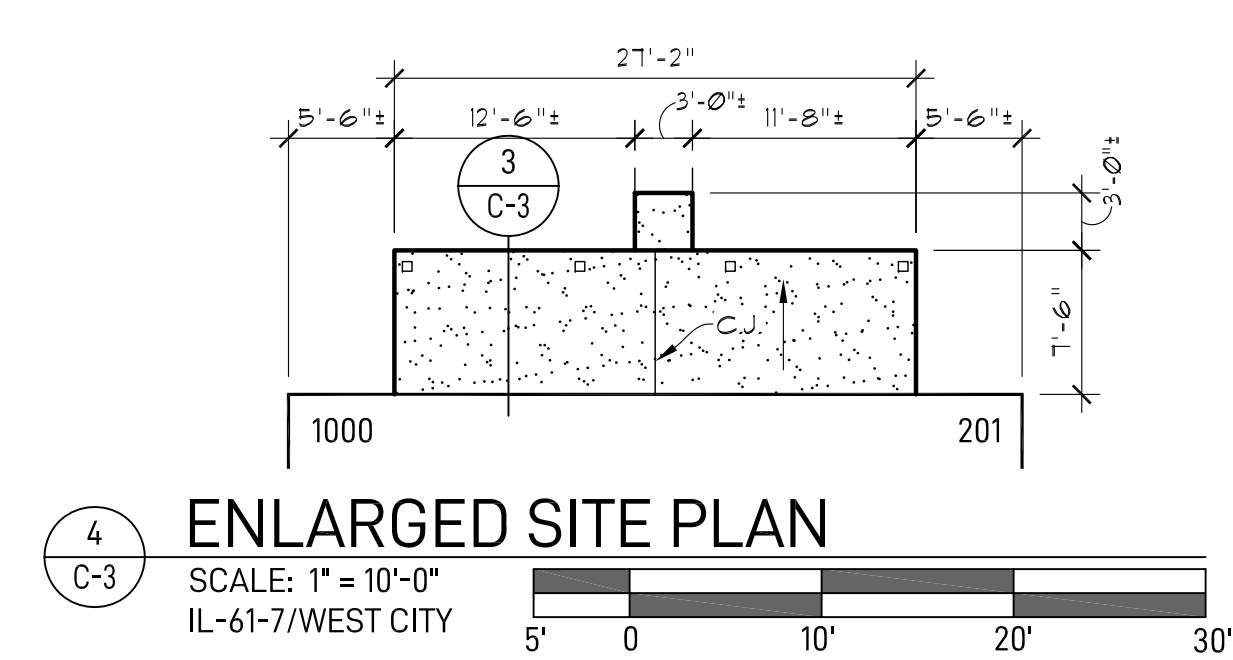
1
C-3
TYPICAL SIDEWALK DETAILS
SCALE: 1" = 1'-0"



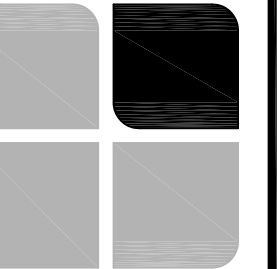
2
C-3
CLOTHESLINE POST DETAIL
SCALE: 1" = 1'-0"

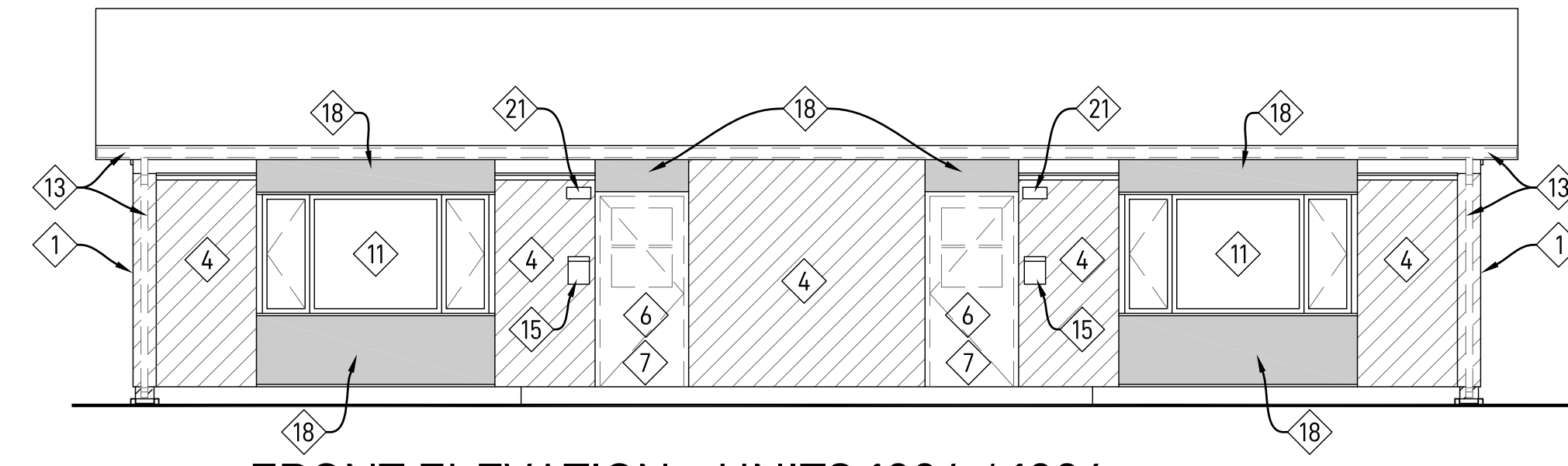


3
C-3
TYPICAL STOOP DETAIL
SCALE: 1" = 1'-0"

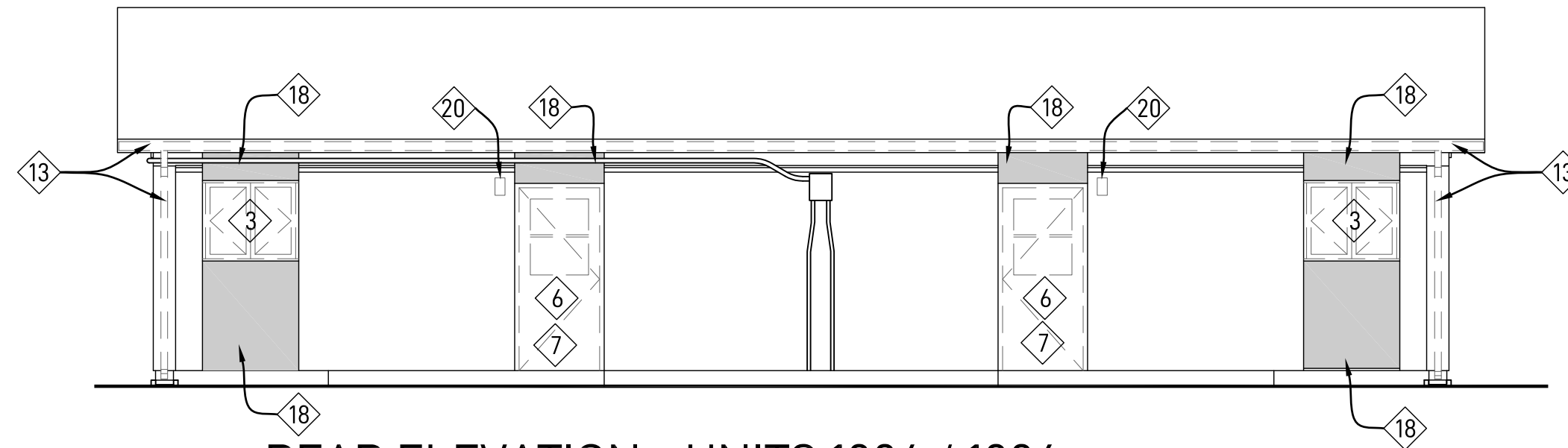


SEE SHEET C-2 FOR GENERAL NOTES, KEY NOTES AND LEGEND OF SYMBOLS

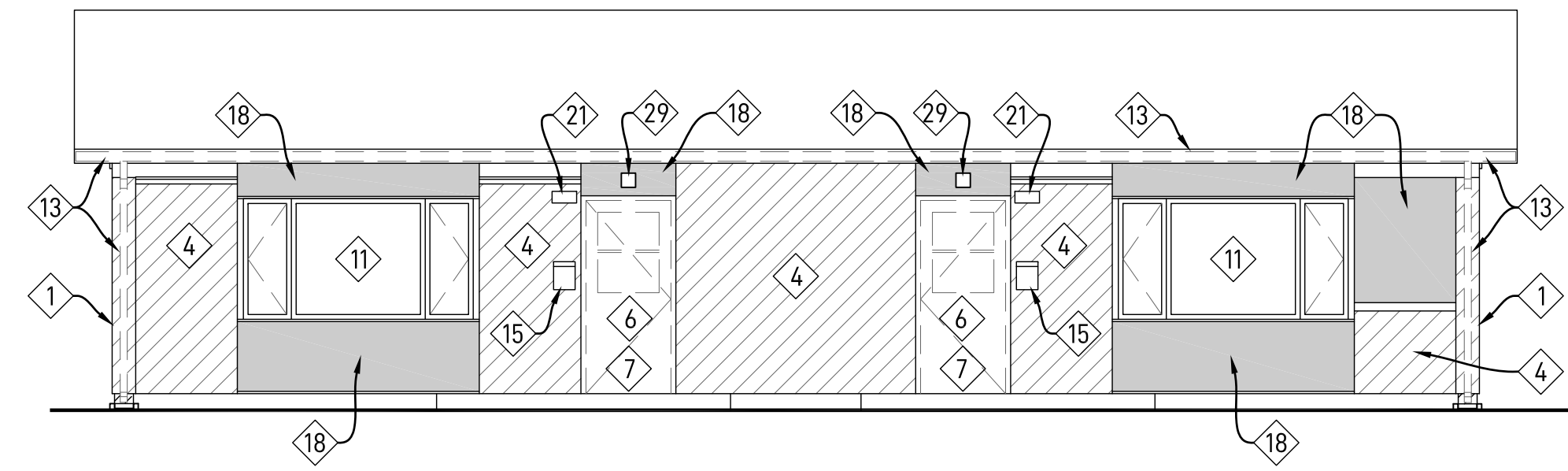




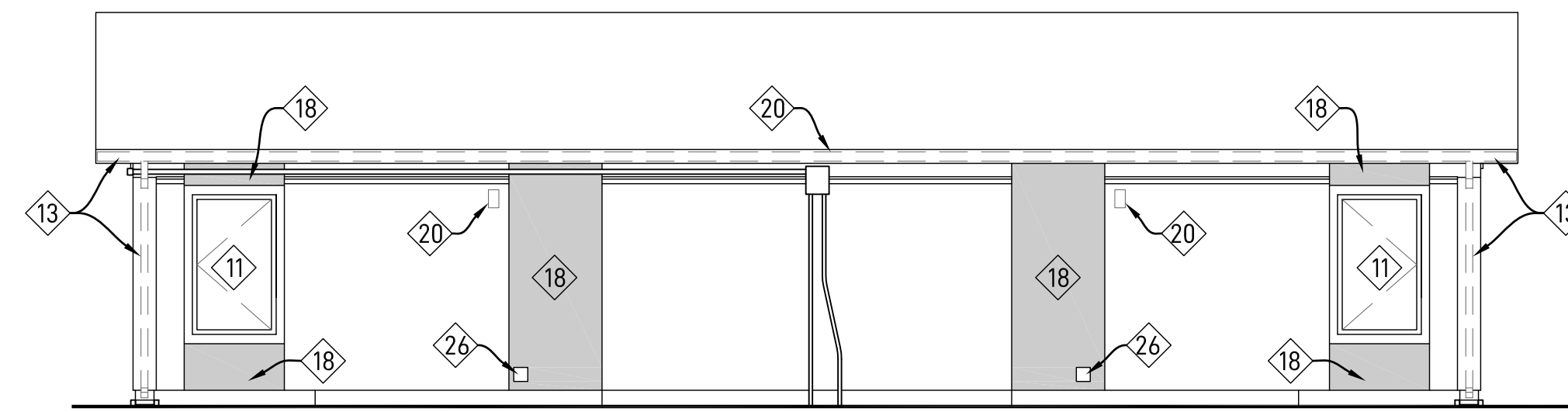
1 FRONT ELEVATION - UNITS 1004 / 1006
SCALE: 3/16" = 1'-0"
IL-61-7/WEST CITY - BUILDING TYPE 'B'



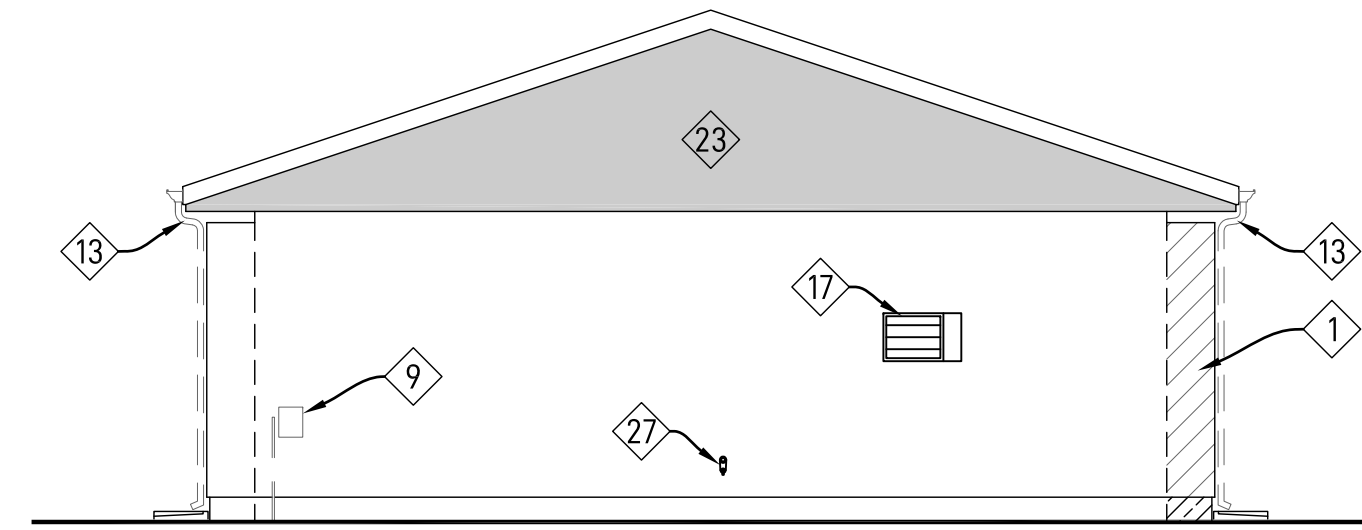
3 REAR ELEVATION - UNITS 1004 / 1006
SCALE: 3/16" = 1'-0"
IL-61-7/WEST CITY - BUILDING TYPE 'B'



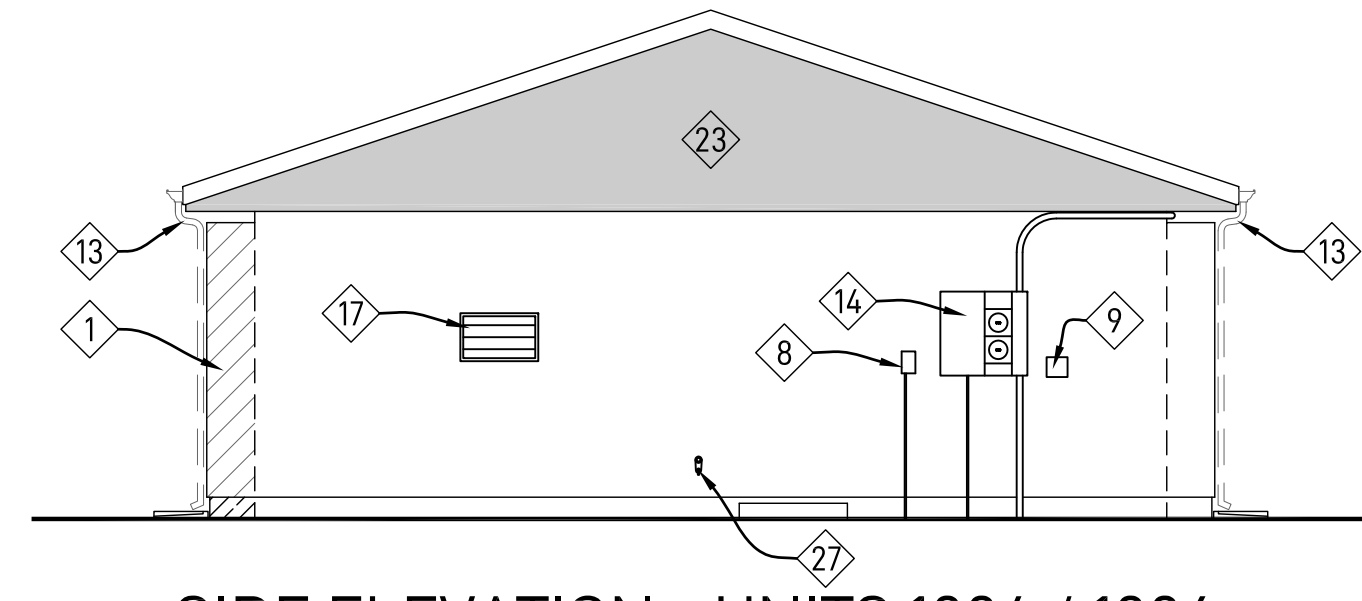
5 FRONT ELEVATION - UNITS 1008 / 1008B
SCALE: 3/16" = 1'-0"
IL-61-7/WEST CITY - BUILDING TYPE 'B'



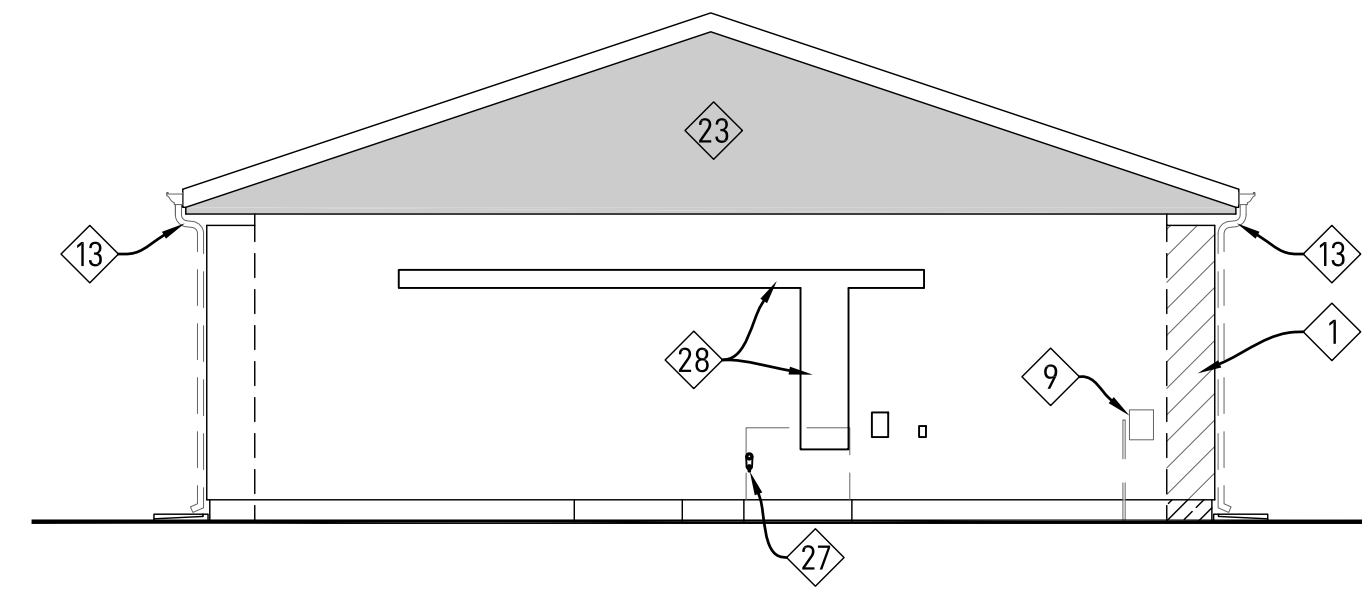
7 REAR ELEVATION - UNITS 1008 / 1008B
SCALE: 3/16" = 1'-0"
IL-61-7/WEST CITY - BUILDING TYPE 'B'



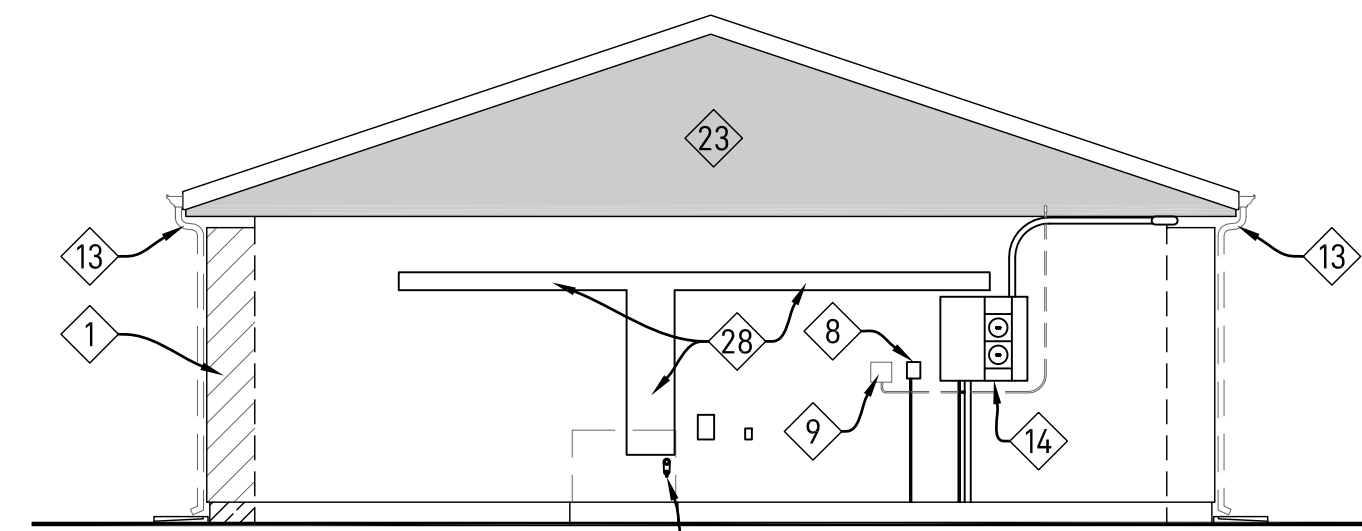
2 SIDE ELEVATION - UNITS 1004 / 1006
SCALE: 3/16" = 1'-0"
IL-61-7/WEST CITY - BUILDING TYPE 'B'



4 SIDE ELEVATION - UNITS 1004 / 1006
SCALE: 3/16" = 1'-0"
IL-61-7/WEST CITY - BUILDING TYPE 'B'



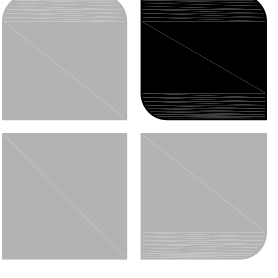
6 SIDE ELEVATION - UNITS 1008 / 1008B
SCALE: 3/16" = 1'-0"
IL-61-7/WEST CITY - BUILDING TYPE 'B'

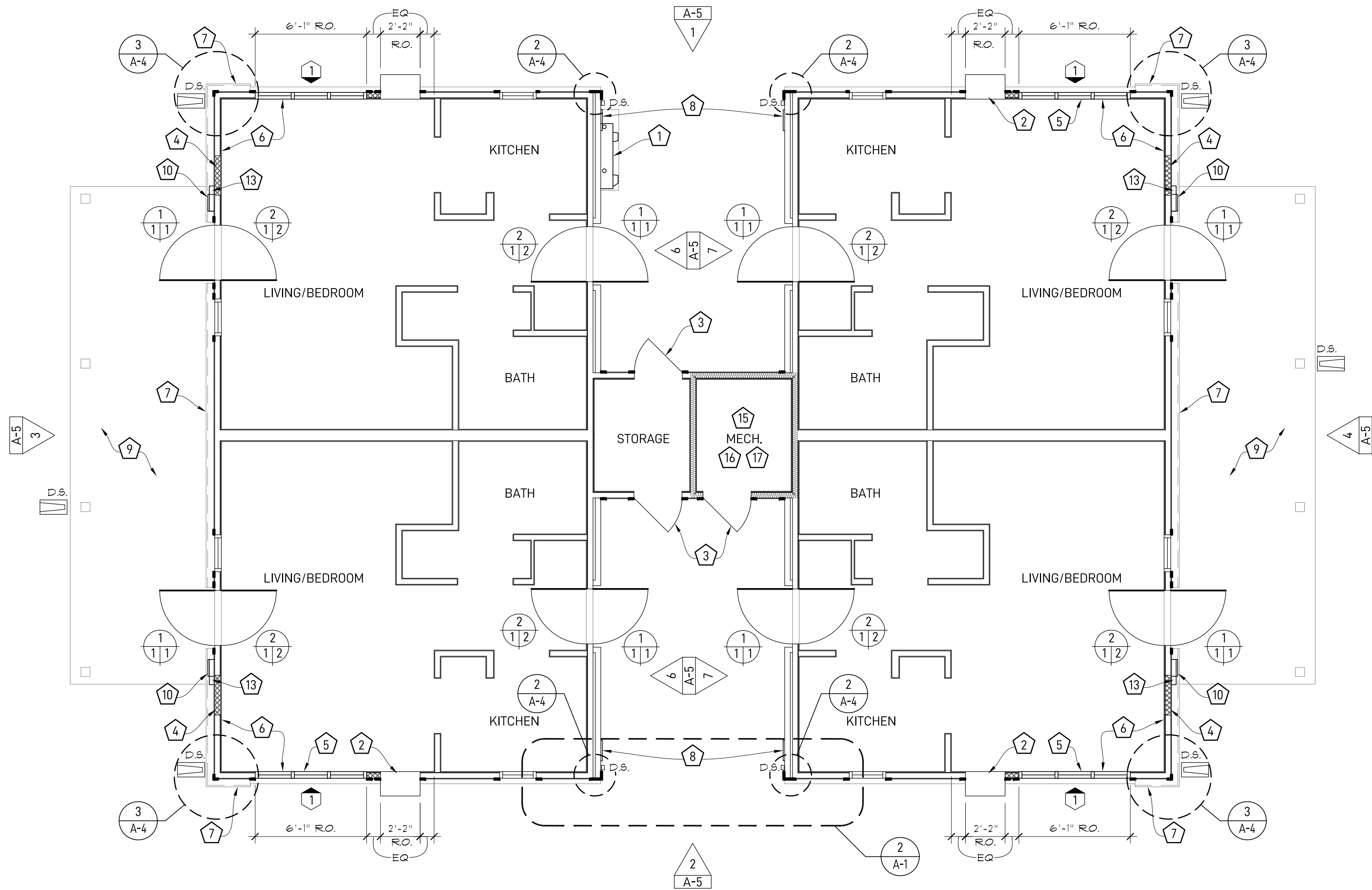


8 SIDE ELEVATION - UNITS 1008 / 1008B
SCALE: 3/16" = 1'-0"
IL-61-7/WEST CITY - BUILDING TYPE 'B'

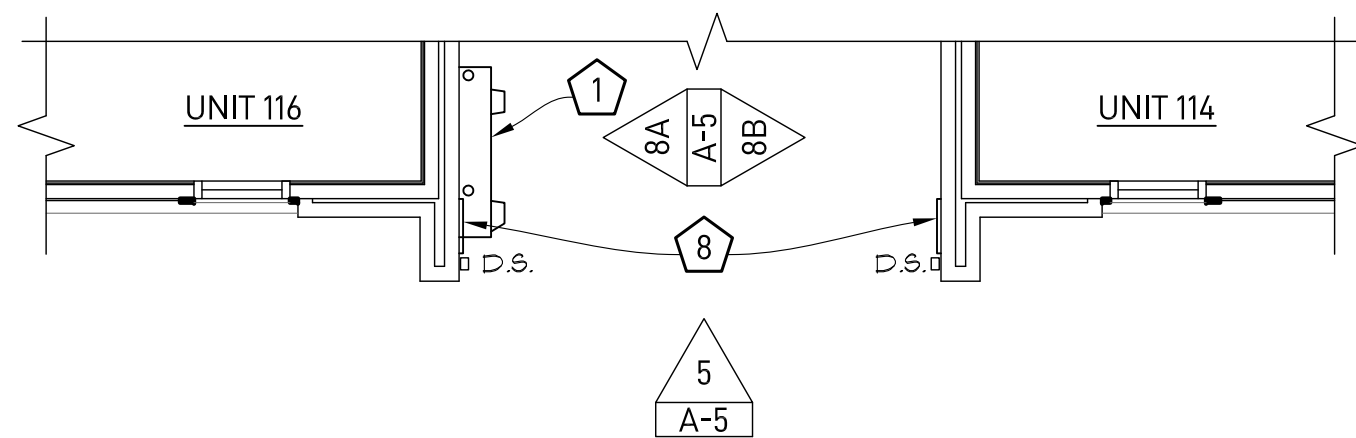
SEE SHEET D-1 FOR GENERAL NOTES
AND DEMOLITION KEY NOTES

SEE SHEET D-3 FOR LEGEND OF SYMBOLS





1
A-1
RENOVATION PLAN - BUILDING TYPE 'A1' (TYP.)
SCALE: 1/8" = 1' - 0"
IL-61-6/BENTON & IL-61-7/WEST CITY



2
A-1
PARTIAL RENOVATION PLAN - BUILDING TYPE 'A1'
SCALE: 1/8" = 1' - 0"
IL-61-6/BENTON

RENOVATION GENERAL NOTES (SHEETS A-1 THRU A-2)

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY TO WORK WITH EXISTING CONDITIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- DIMENSIONS ARE SHOWN FROM FACE OF MASONRY AND FACE OF EXISTING SHEATHING. DOOR AND WINDOW DIMENSIONS ARE FROM EDGE OF MASONRY OPENING. DIMENSIONS GIVEN ARE FOR CONTRACTOR'S GENERAL INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
- GENERAL CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES.
- PROTECT EXISTING SURFACES/EQUIPMENT FROM DUST, DIRT, ETC. DURING ALL CONSTRUCTION ACTIVITIES. AFTER ALL WORK IS COMPLETE, CONTRACTOR SHALL CLEAN UNITS SO THEY ARE FREE OF ANY CONSTRUCTION DIRT AND DEBRIS. CONSTRUCT DUST BARRIERS WHERE POSSIBLE TO ISOLATE WORK AREAS.

RENOVATION KEY NOTES '1' (SHEETS A-1 THRU A-2)

- EXISTING ELECTRIC METER LOCATIONS VARY FROM BUILDING TO BUILDING - SEE SITE PLANS - TAKE CARE NOT TO DAMAGE.
- FRAME NEW A/C SLEEVE OPENING (MATCH HEIGHT OF EXISTING SLEEVE) AND INSTALL NEW 16"H X 26"W METAL SLEEVE WITH EXTERIOR GRILLE. MODEL No. PBWS01A BY AMANA (OR APPROVED EQUAL). SEE DETAIL 6/A-4.
- EXISTING DOOR AND FRAME TO REMAIN.
- INFILL EXISTING A/C SLEEVE OPENING WITH FRAMING, SHEATHING, INSULATION & GYP. BOARD TO MATCH EXISTING WALL THICKNESS. PATCH WALL FINISH FOR SMOOTH TRANSITION TO EXISTING.
- REFRAME EXISTING WINDOW OPENING FOR NEW WINDOW UNIT - SEE WINDOW SCHEDULE ON SHEET A-7.
- REPAIR AND PAINT WALL FROM FLOOR TO CEILING, CORNER TO CORNER OR FROM CORNER TO DOOR.
- NEW CAST STONE SILL - SEE DETAIL 5/A-4.
- INSTALL NEW 6 x 12 BUILDING NUMBER ADDRESS PLATE. PLATE SHALL BE ALUMINUM COMPOSITE PANELS, ROUND CORNERS, WHITE REFLECTIVE SURFACE, BY TOPAZ SIGNWORKS, 3513 NEW TOWN BLVD., ST. CHARLES, MO 63301 (636-949-2200) OR APPROVED EQUAL. NEW ADDRESS PLATES SHALL BE FASTENED WITH STAINLESS STEEL SECURITY-TYPE FASTENERS. SUBMIT SCHEDULE OF NEW ADDRESS PLATES TO ARCHITECT AND PHA FOR REVIEW AND APPROVAL.
- CONCRETE STOOP - SEE SITE IMPROVEMENT PLANS FOR LOCATIONS WHERE NEW STOOPS ARE SCHEDULED. SEE DETAIL ON SHEET C-3.
- INSTALL NEW MAILBOX. SEE RENOVATION ELEVATIONS.
- INFILL BRICK VENEER WHERE SIDING PANELS WERE REMOVED. SEE RENOVATION ELEVATIONS.
- INSTALL NEW DRYER VENT CAP.
- NEW ADDRESS SIGN LIGHT FIXTURE - SEE PE SHEETS.
- INSTALL NEW CAST STONE SILL AT BASE OF WALL. SEE DETAIL 7/A-4.
- PROJECT IL-61-7/WEST CITY ONLY: INSTALL 1/2" THK. MOISTURE RESISTANT GYP. BOARD ON ALL WALLS & 3/8" THK. MOISTURE RESISTANT GYP. BOARD ON CEILING. INSULATE ATTIC SPACE WITH R-48 MINIMUM (1 LAYER R-30 & 1 LAYER R-21) BATT INSULATION. INSTALL 4" VINYL BASE AT FLOOR. INSTALL WOOD TRIM AT DOOR. FINISH AND PAINT ALL WALLS, CEILING AND TRIM. COORDINATE WITH PLUMBING & ELECTRICAL SUBCONTRACTORS.
- PROJECT IL-61-7/WEST CITY ONLY: CONTRACTOR SHALL CLEAN ALL STUDS WITH A SOLUTION OF TSP TO REMOVE MOLD FROM STUDS/FRAMING. PAINT ALL EXPOSED FRAMING WITH PRIMER PRIOR TO FINISHING WALLS.
- PROJECT IL-61-7/WEST CITY ONLY: INSULATE ALL WALLS IN MECHANICAL ROOMS WITH R-13 BATT INSULATION.

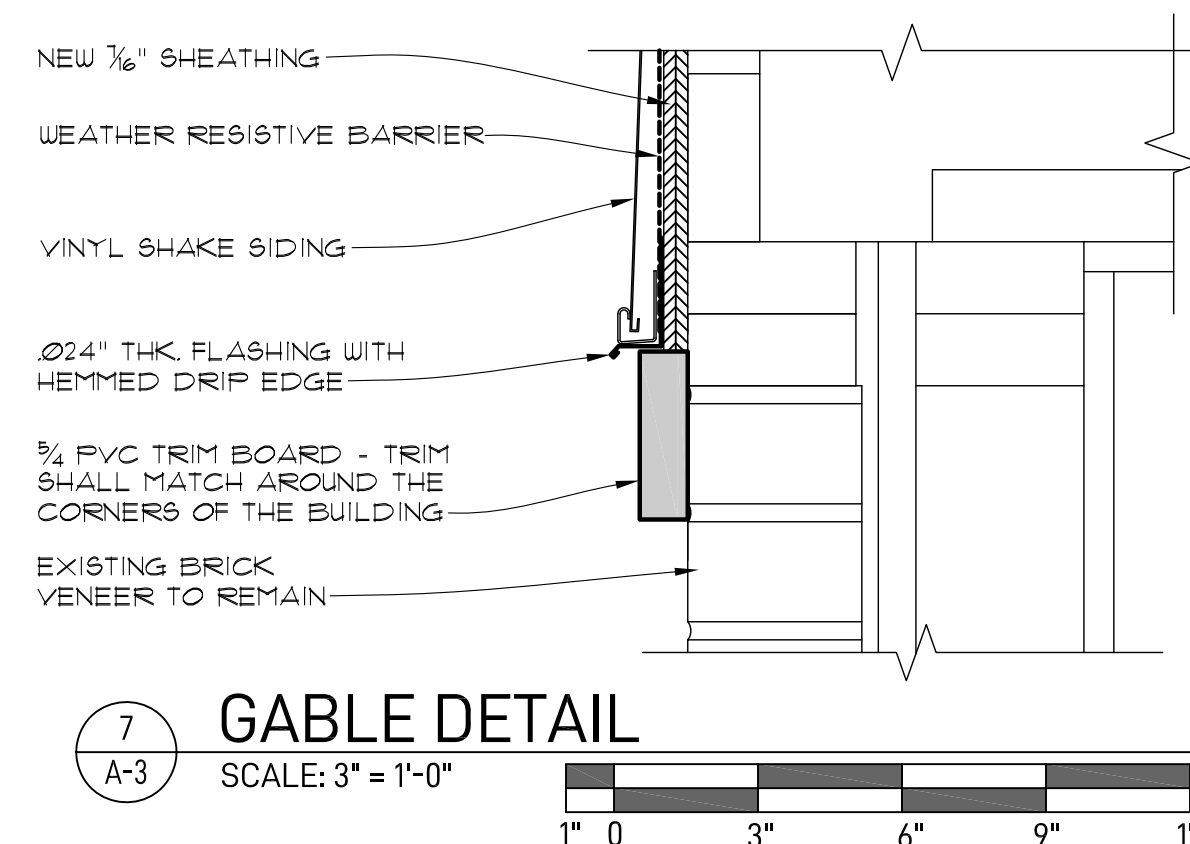
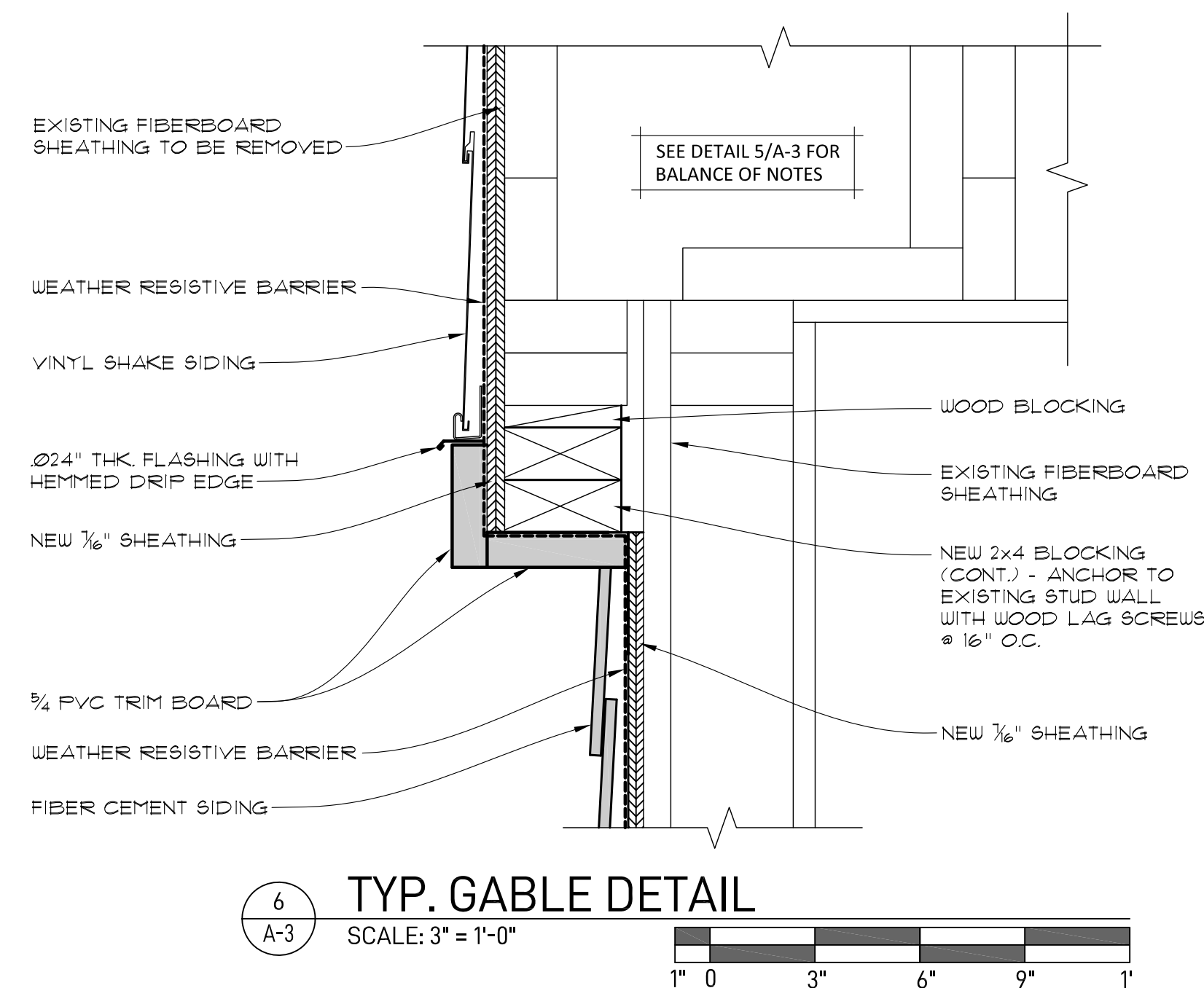
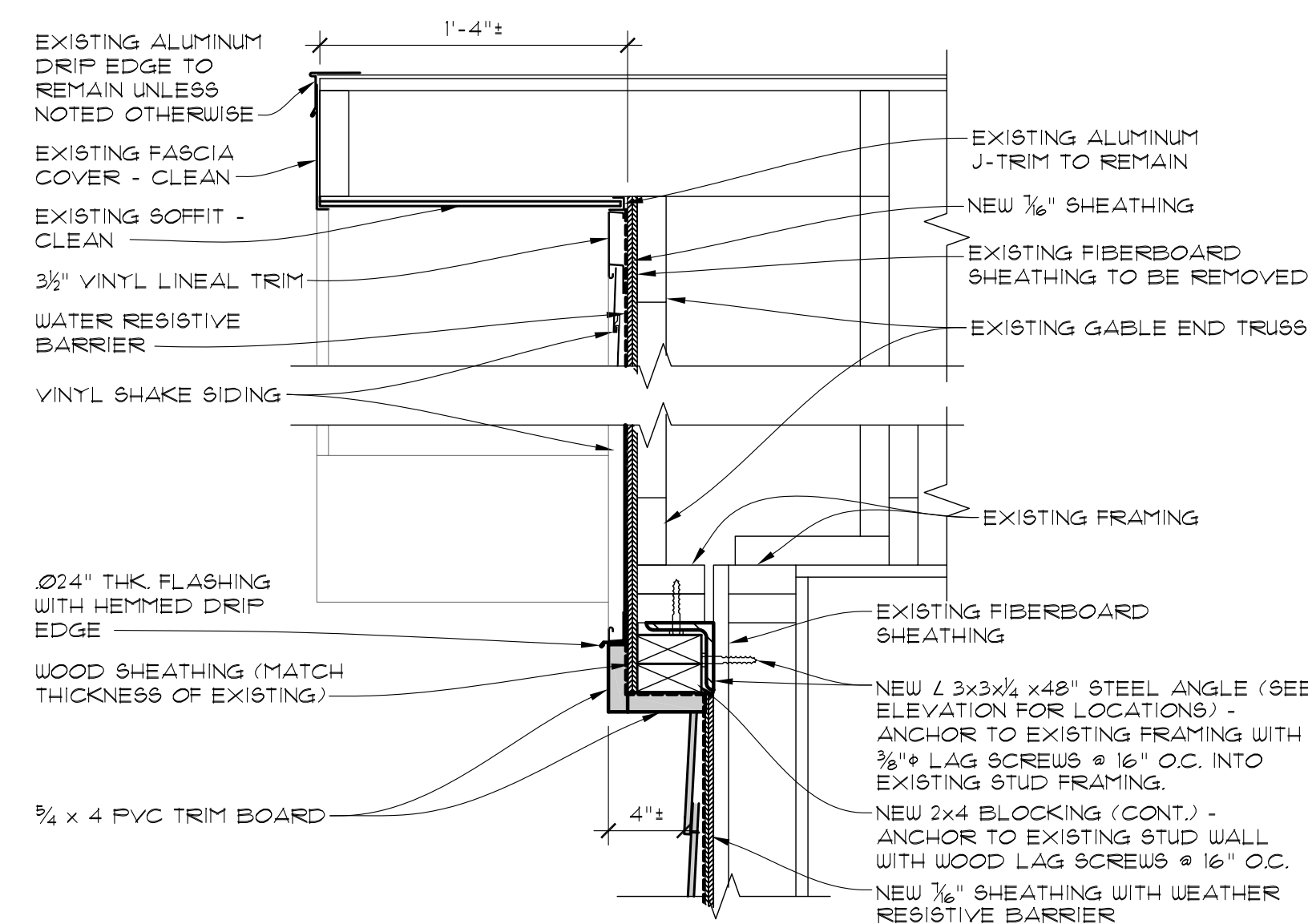
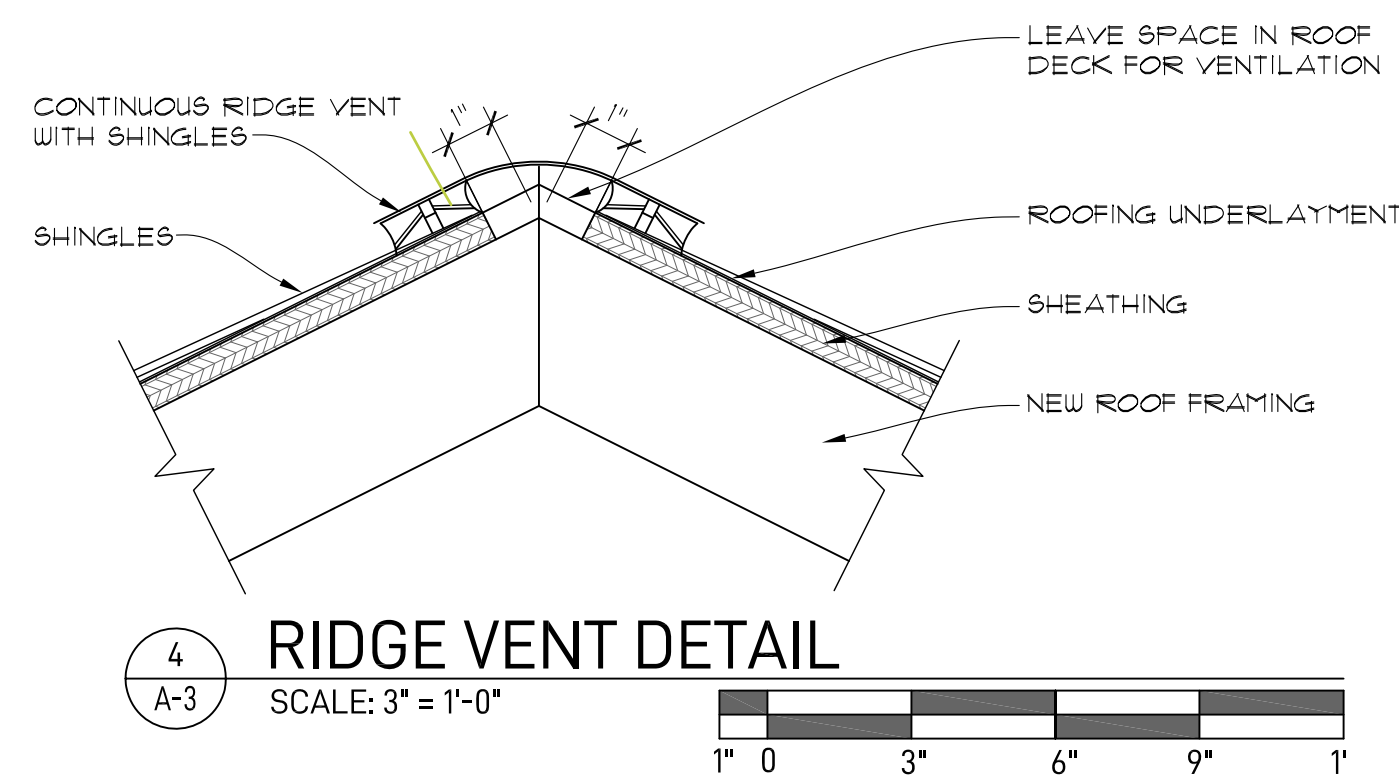
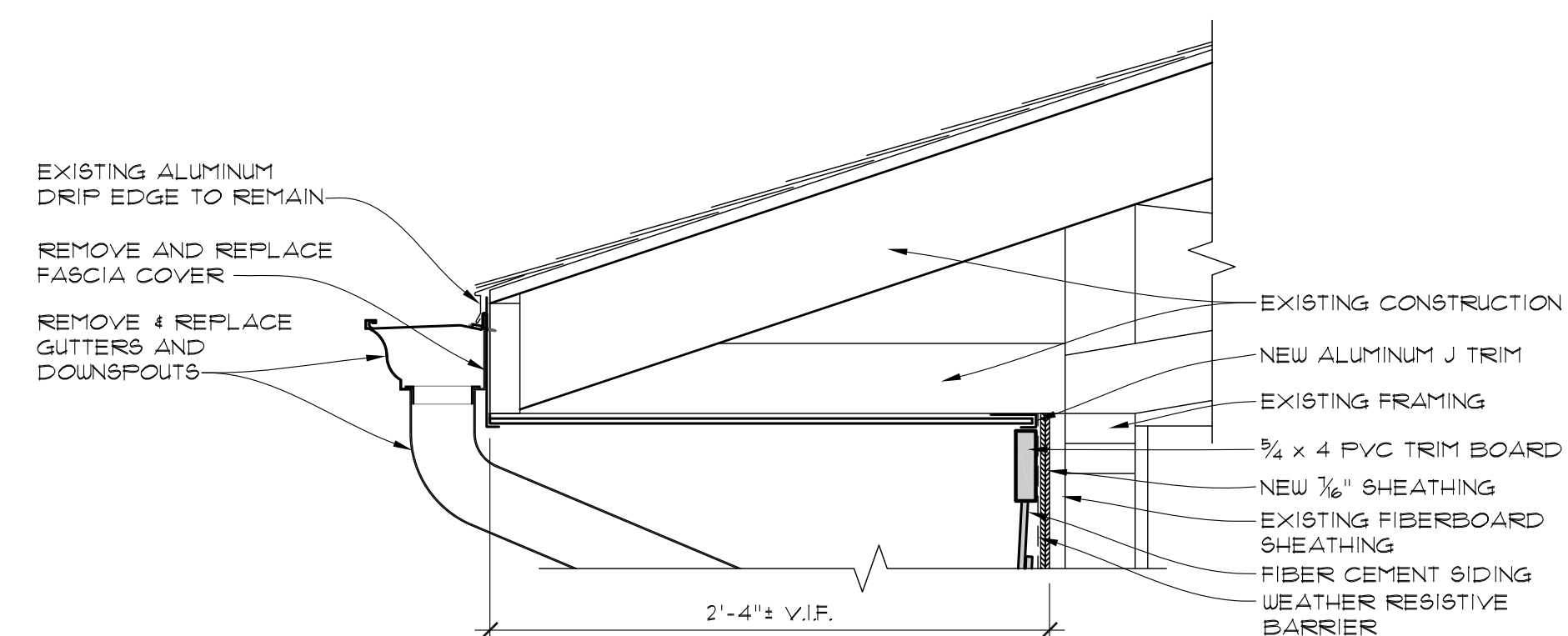
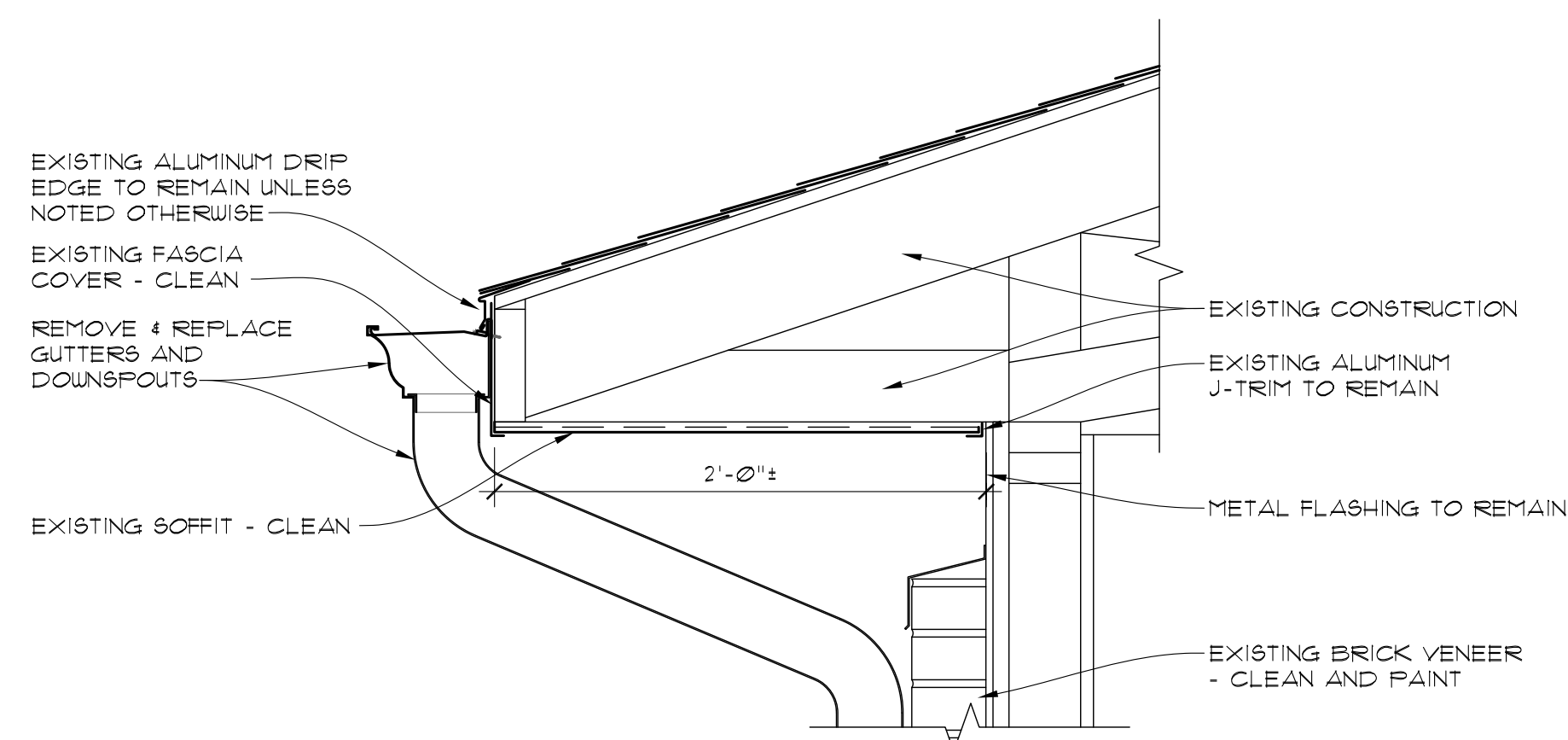
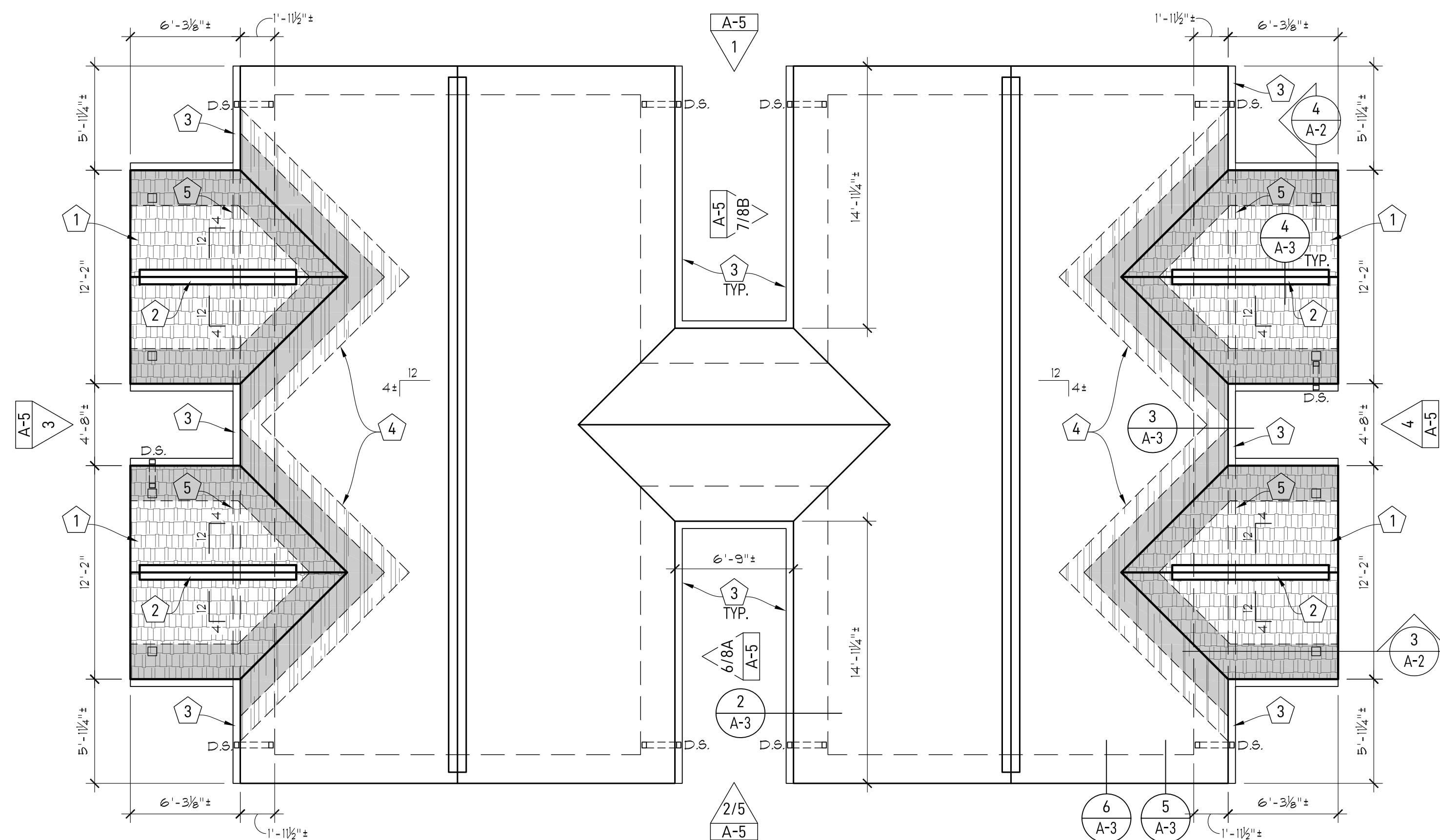
LEGEND OF SYMBOLS (SHEETS A-1 THRU A-2)

DOOR SYMBOL

- # DOOR NUMBER - SEE SCHEDULE ON SHEET A-7
#/# HARDWARE GROUP
#/# DETAIL NUMBER - SHEET A-7

EXTERIOR ELEVATION

- # ELEVATION NUMBER
A-# SHEET ELEVATION FOUND ON
- 1 WINDOW SYMBOL
- INFILL PORTION OF EXISTING WALL AS INDICATED
- D.S. NEW DOWNSPOUT OR SPLASH BLOCK (WHERE INDICATED)



LEGEND OF SYMBOLS

(SHEETS A-3 THRU A-4)

— — — OUTLINE OF BUILDING WALLS

ICE & WATER DAM TO BE INSTALLED

EXISTING SHINGLE ROOFING TO REMAIN

DOWNSPOUT LOCATION

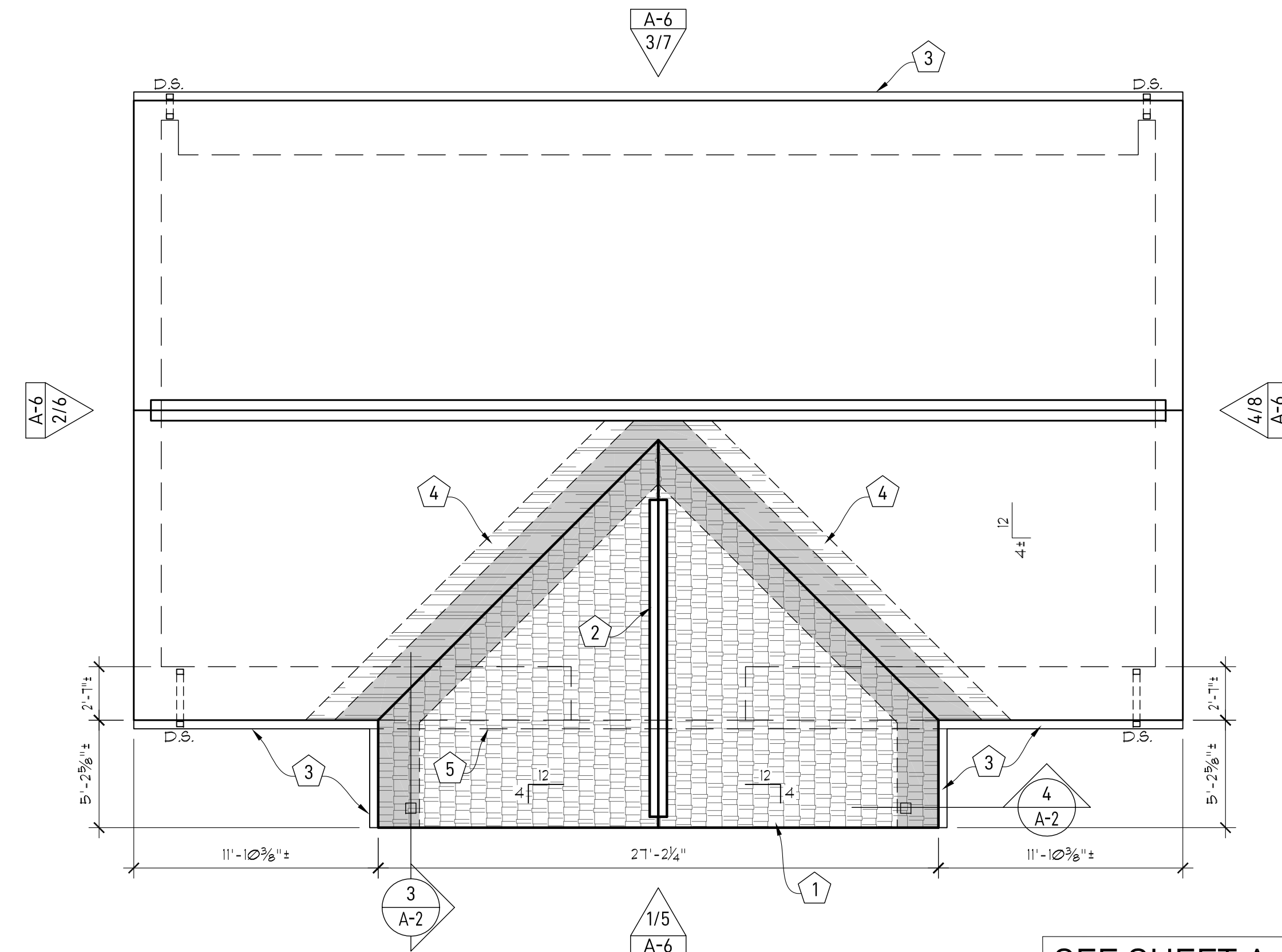
VERIFY IN FIELD

ROOF GENERAL NOTES (SHEETS A-3 THRU A-4)

1. ALL ROOF DIMENSIONS ARE GIVEN FOR CONTRACTORS GENERAL INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND MAKE ADJUSTMENTS AS NECESSARY. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MAY AFFECT THE OUTCOME OF THE WORK.
2. CONTRACTOR SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF THE PROJECT AND TO FIELD VERIFY EXISTING CONDITIONS. THE LOCATIONS OF PLUMBING VENT PIPES, FURNACE FLUES, EXHAUST HOODS AND ROOF VENTS MAY VARY ON EACH BUILDING, CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS AS NECESSARY TO COMPLETE THE DESCRIBED WORK.
3. CONTRACTOR SHALL INSTALL ALL ROOFING AND ACCESSORIES AS ILLUSTRATED AND DIRECTED IN THE N.R.C.A. ROOFING AND WATERPROOFING MANUAL.
4. PROVIDE AND INSTALL MODIFIED BITUMEN ICE AND WATER DAM ALONG ENTIRE LENGTH OF CANOPY VALLEYS & EAVES AS SHOWN ON DRAWINGS.
5. ALL EXISTING METAL DRIP EDGE TO REMAIN UNLESS NOTED OTHERWISE.
6. PROVIDE NEW SPLASH BLOCK AT ALL DOWNSPOUT LOCATIONS. NEW SPLASH BLOCKS SHALL BE PRE-CAST CONCRETE, MINIMUM 4" THK. x 12" W x 24" LONG. REMOVE EXISTING WHERE THEY OCCUR. MODIFY GRADE AS NECESSARY TO SLOPE SPLASHBLOCK AWAY FROM BUILDING.
7. EXISTING GUTTERS AND DOWNSPOUTS TO BE REPLACED WITH NEW.
8. PROVIDE AND INSTALL NEW FIBERGLASS LAMINATE SHINGLES OVER UNDERLAYMENT ON NEW CANOPIES (MATCH EXISTING AS APPROVED BY ARCHITECT).
9. EXISTING FASCIA COVER AND SOFFIT TO REMAIN, EXCEPT WHERE REMOVAL OR MODIFICATION IS NOTED. CLEAN EXISTING FASCIA COVERS AND SOFFIT WITH LOW-PRESSURE SPRAY AND NON-CHLORINE HOUSE WASH DETERGENT.

ROOF KEY NOTES 'PENT' (SHEETS A-3 THRU A-4)

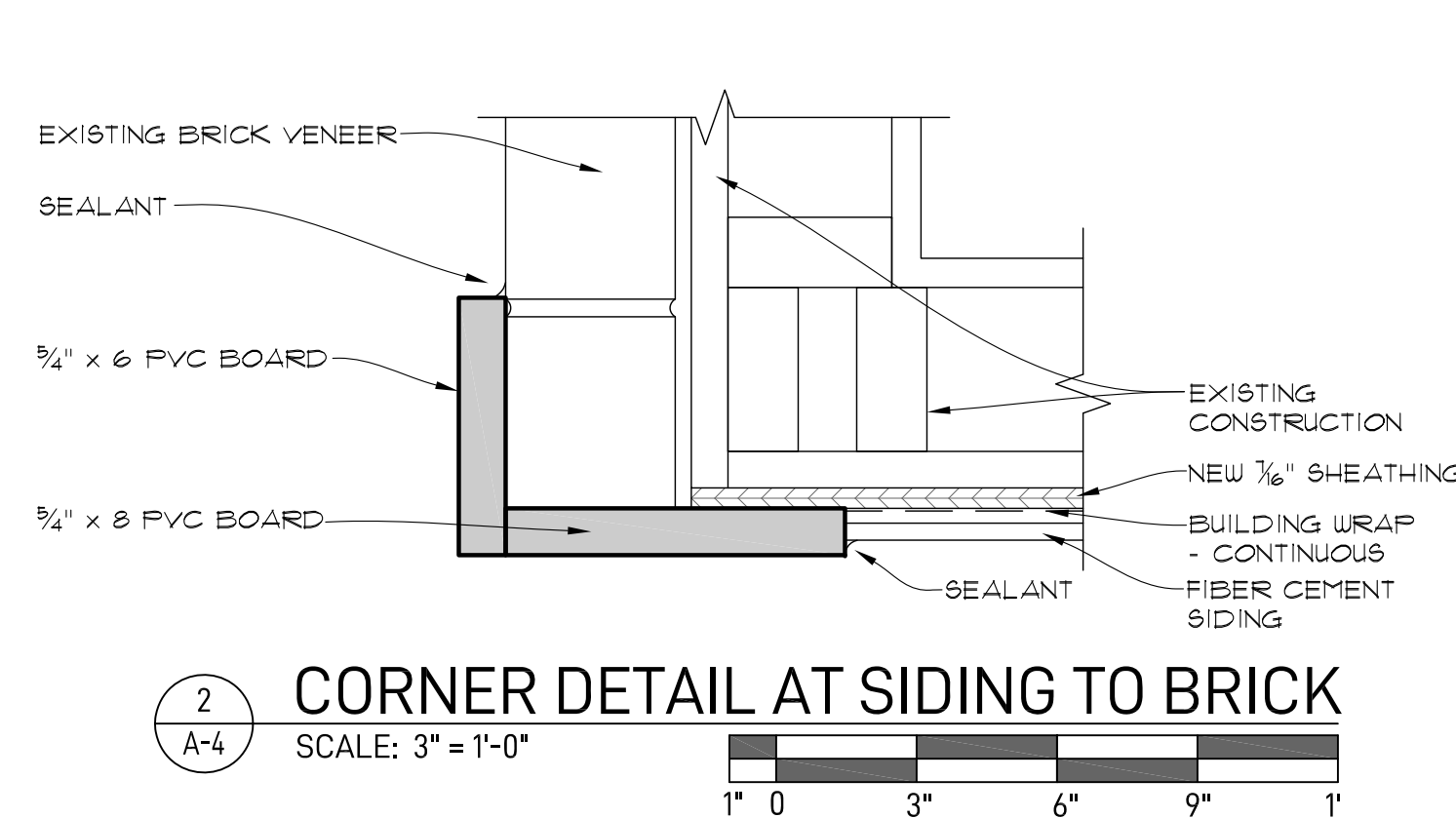
- 1 PROVIDE AND INSTALL NEW UNDERLAYMENT AND ASPHALT SHINGLES AS SPECIFIED.
- 2 INSTALL NEW SHINGLE-OVER RIDGE VENT. SEE DETAIL 4/A-3.
- 3 EXISTING GUTTERS AND DOWNSPOUTS TO BE REMOVED AND REPLACED WITH NEW.
- 4 EXISTING SHINGLE ROOFING TO REMAIN. PEEL BACK EXISTING SHINGLES AS NECESSARY FOR INSTALLATION OF NEW ICE AND WATER DAM AND SHINGLES. REPLACE SHINGLES THAT ARE TORN OR DAMAGED DURING WORK.
- 5 MODIFY EXISTING ROOF EDGE / OVERHANG AS NECESSARY FOR NEW CANOPY. SEE DETAIL 3/A-2.



1
A-4

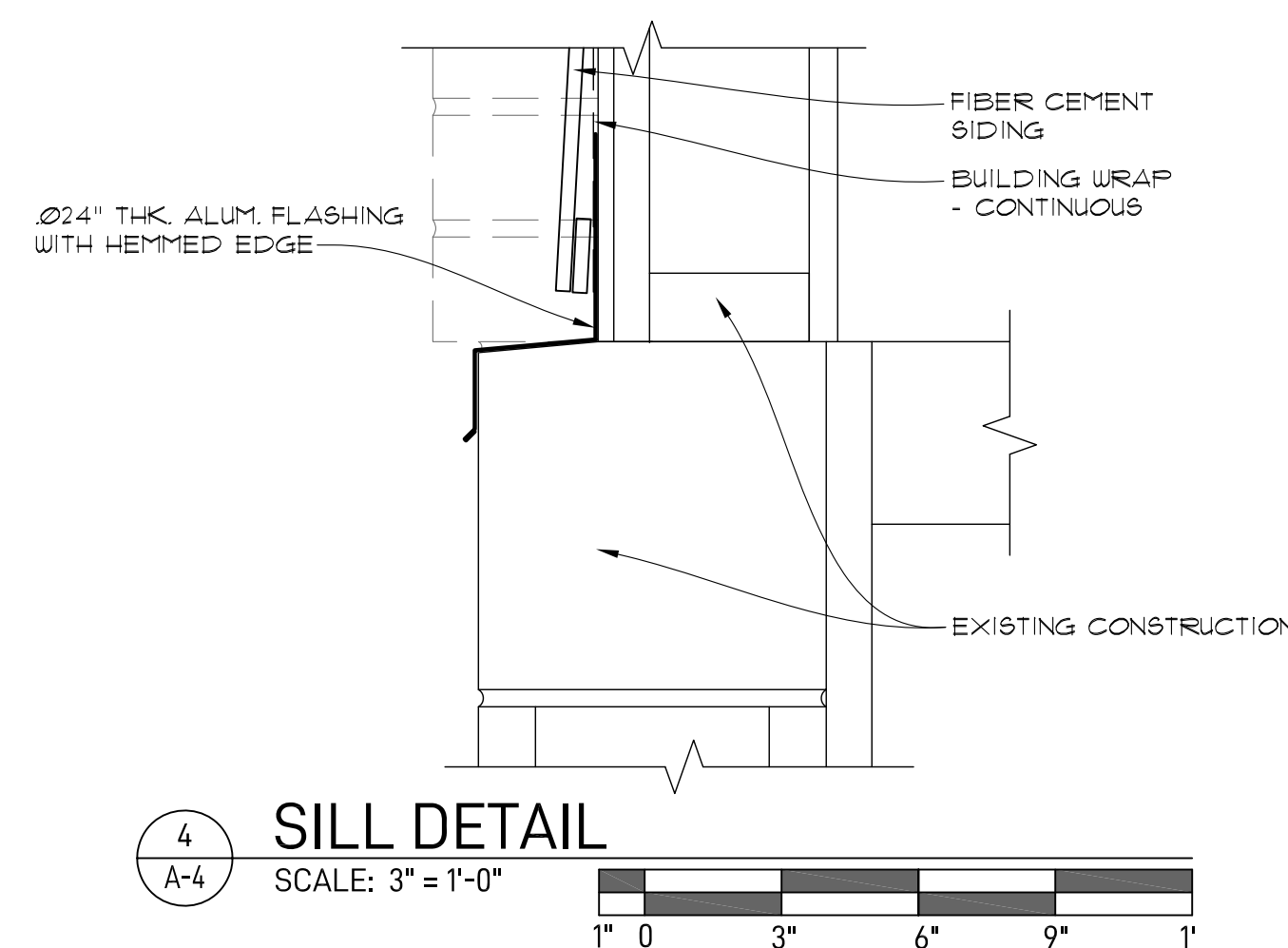
ROOF PLAN - TYPICAL BUILDING TYPE 'B'
SCALE: $\frac{3}{4}$ " = 1'-0"
IL-61-7/WEST CITY

SEE SHEET A-3 FOR ROOF
GENERAL NOTES, KEY NOTES
AND LEGEND OF SYMBOLS



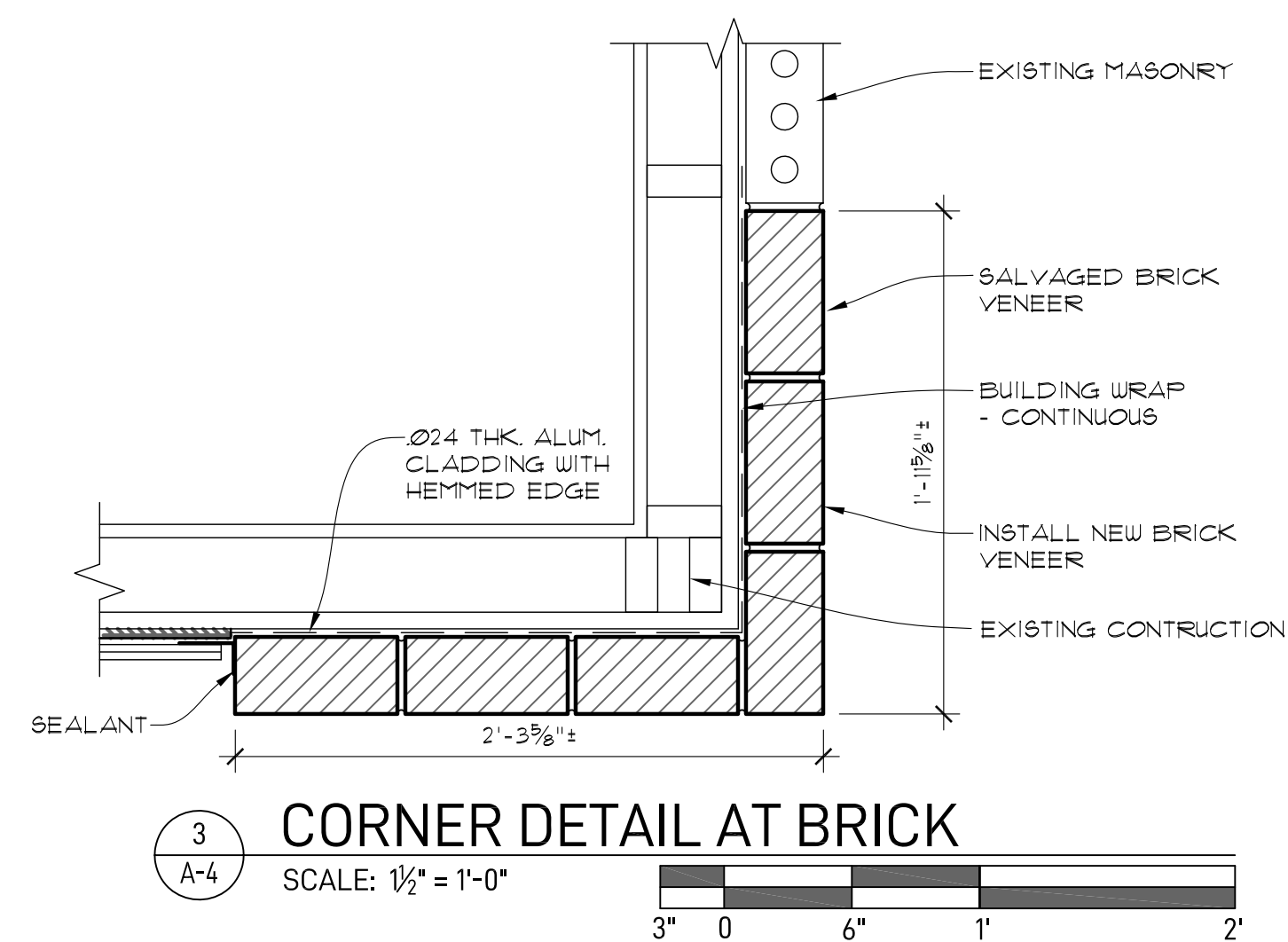
2
A-4

CORNER DETAIL AT SIDING TO BRICK
SCALE: 3" = 1'-0"



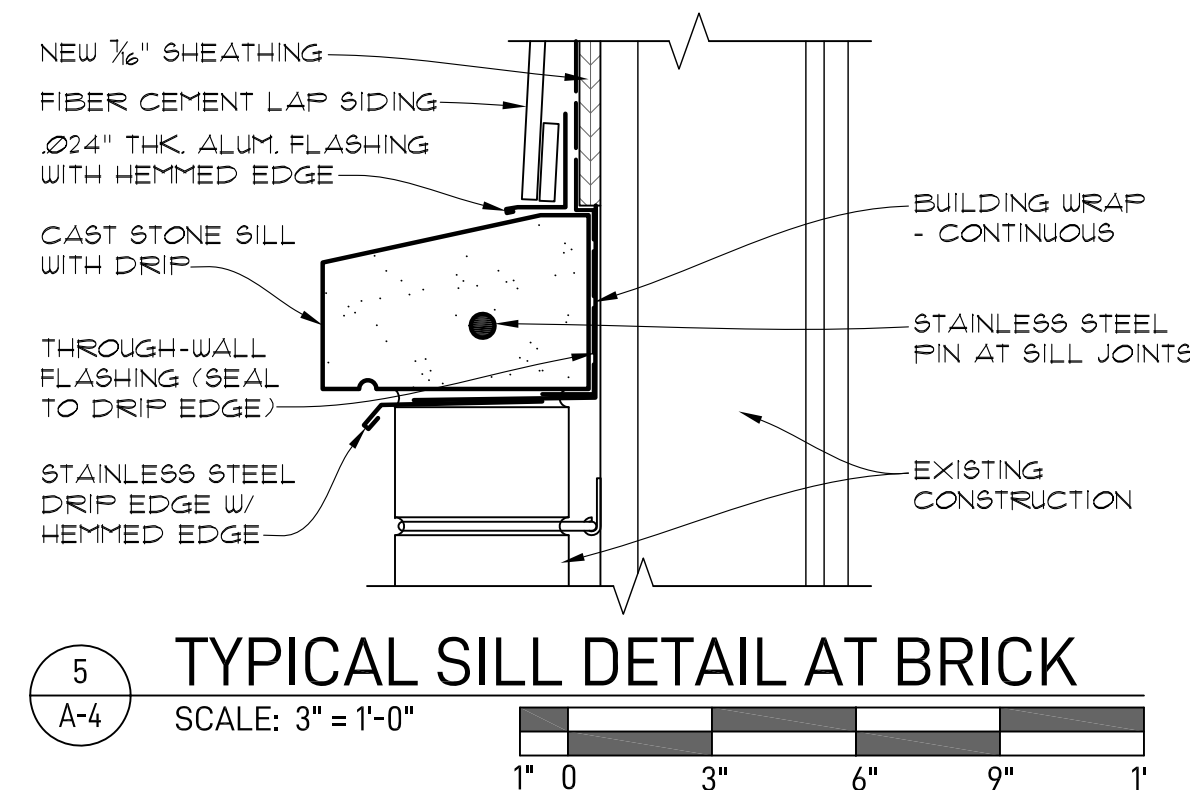
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A-4

SILL DETAIL
SCALE: 3" = 1'-0"



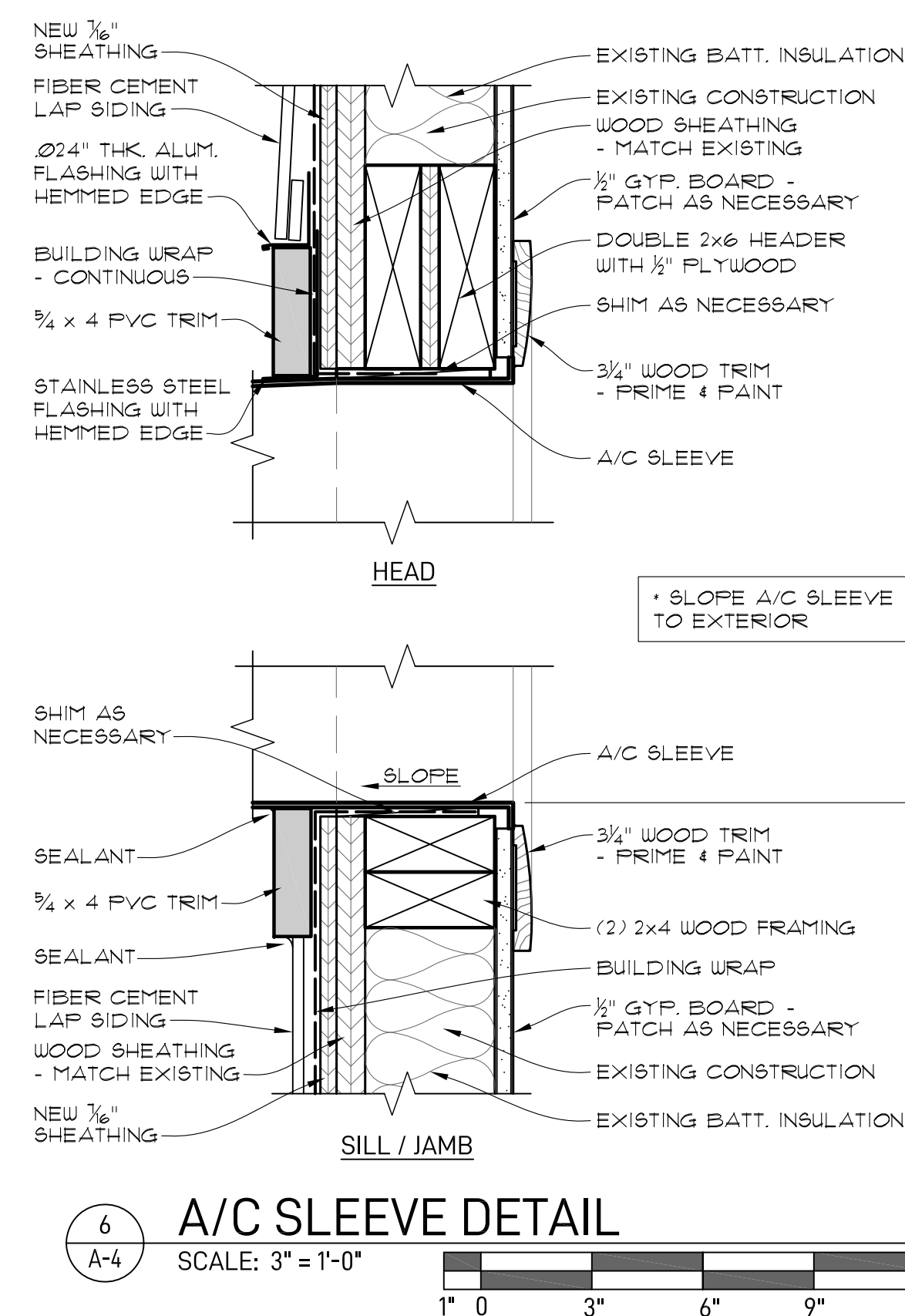
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A-4

CORNER DETAIL AT BRICK
SCALE: $\frac{1}{2}$ " = 1'-0"



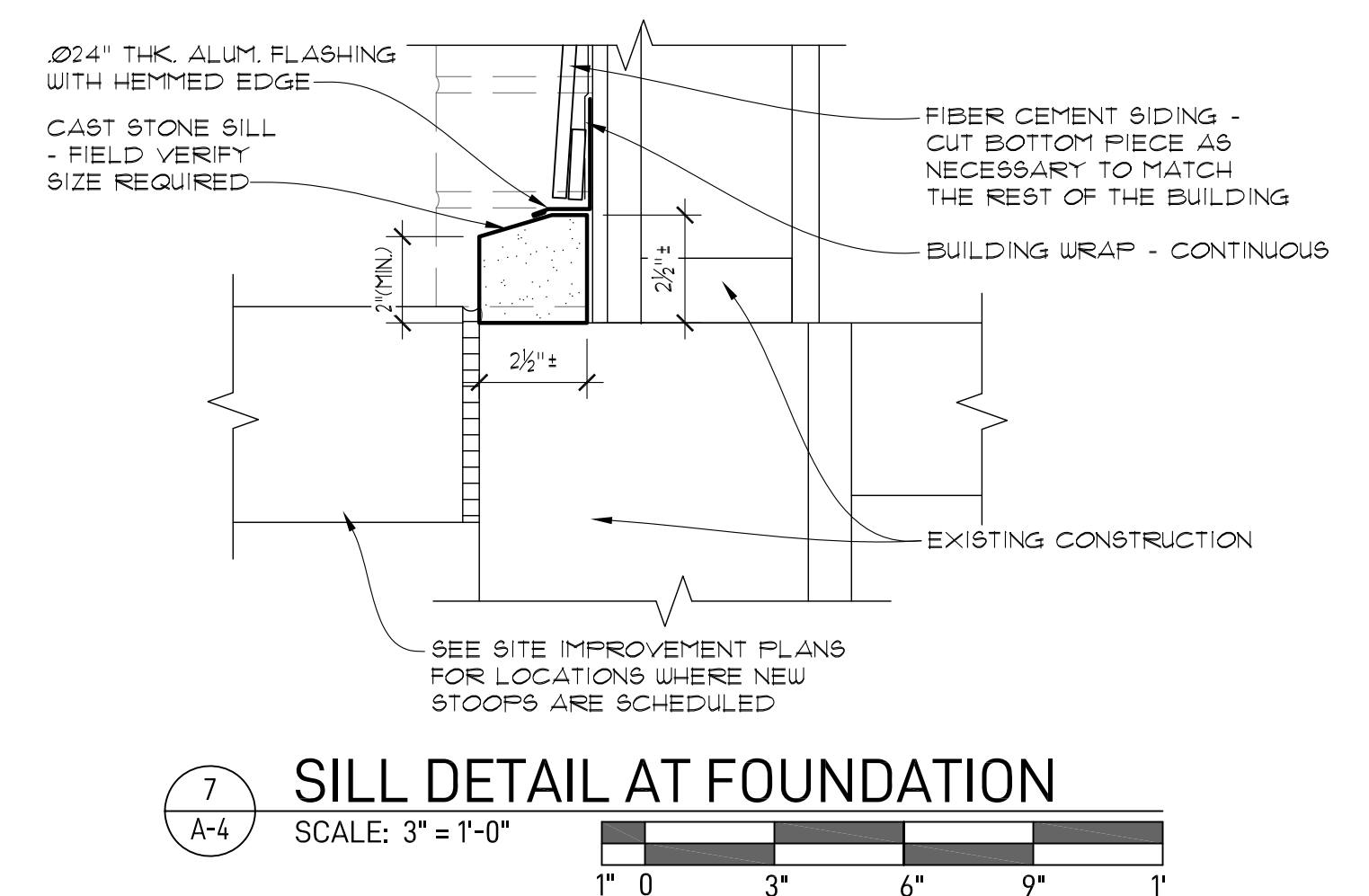
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A-4

TYPICAL SILL DETAIL AT BRICK
SCALE: 3" = 1'-0"



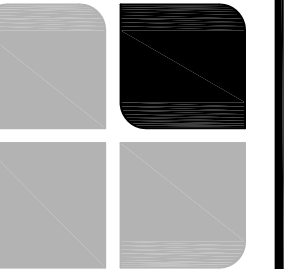
6
A-4

A/C SLEEVE DETAIL
SCALE: 3" = 1'-0"



7
A-4

SILL DETAIL AT FOUNDATION
SCALE: 3" = 1'-0"



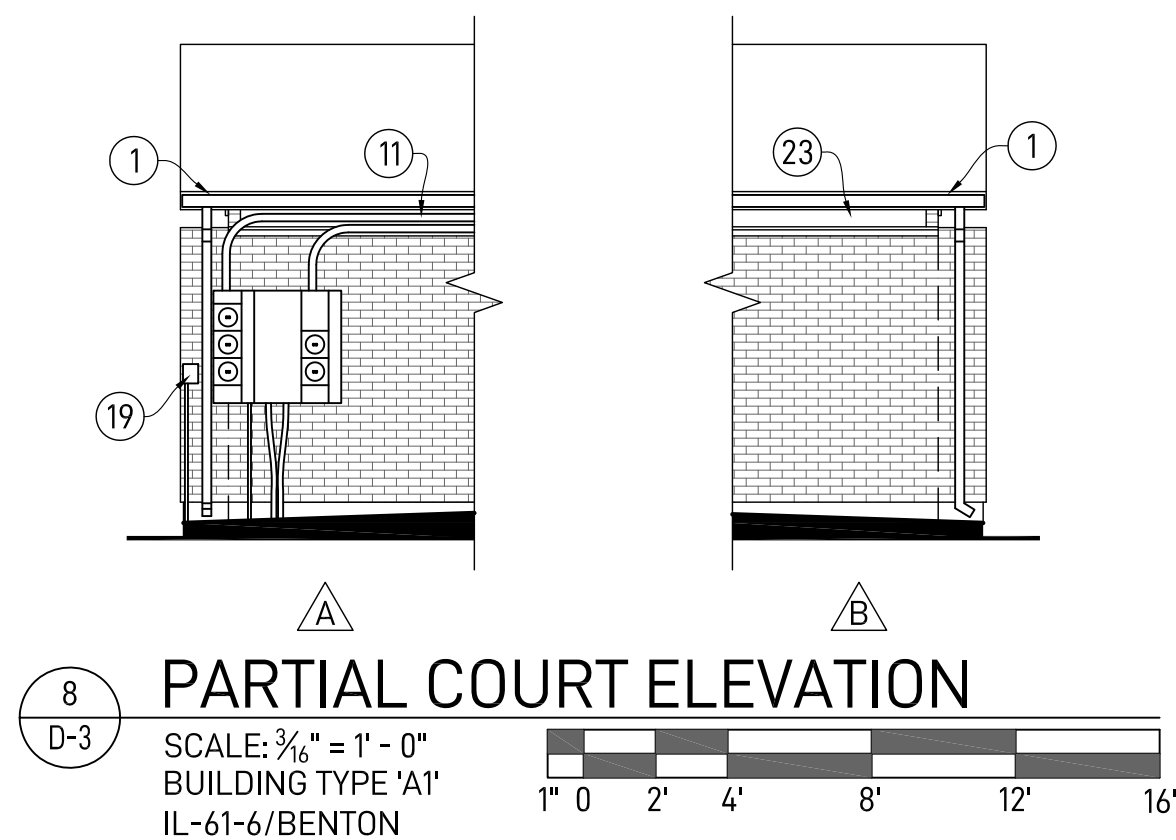
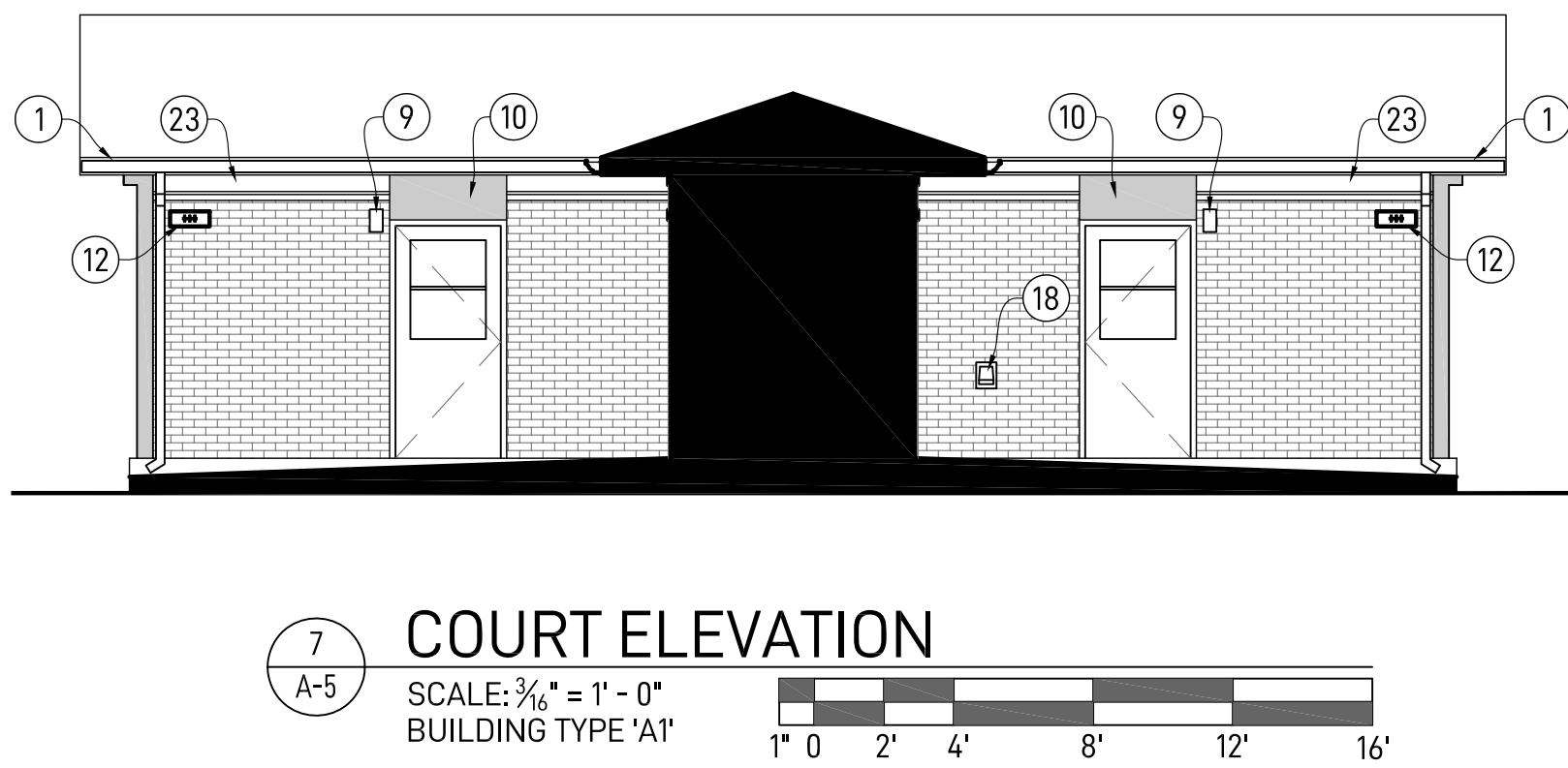
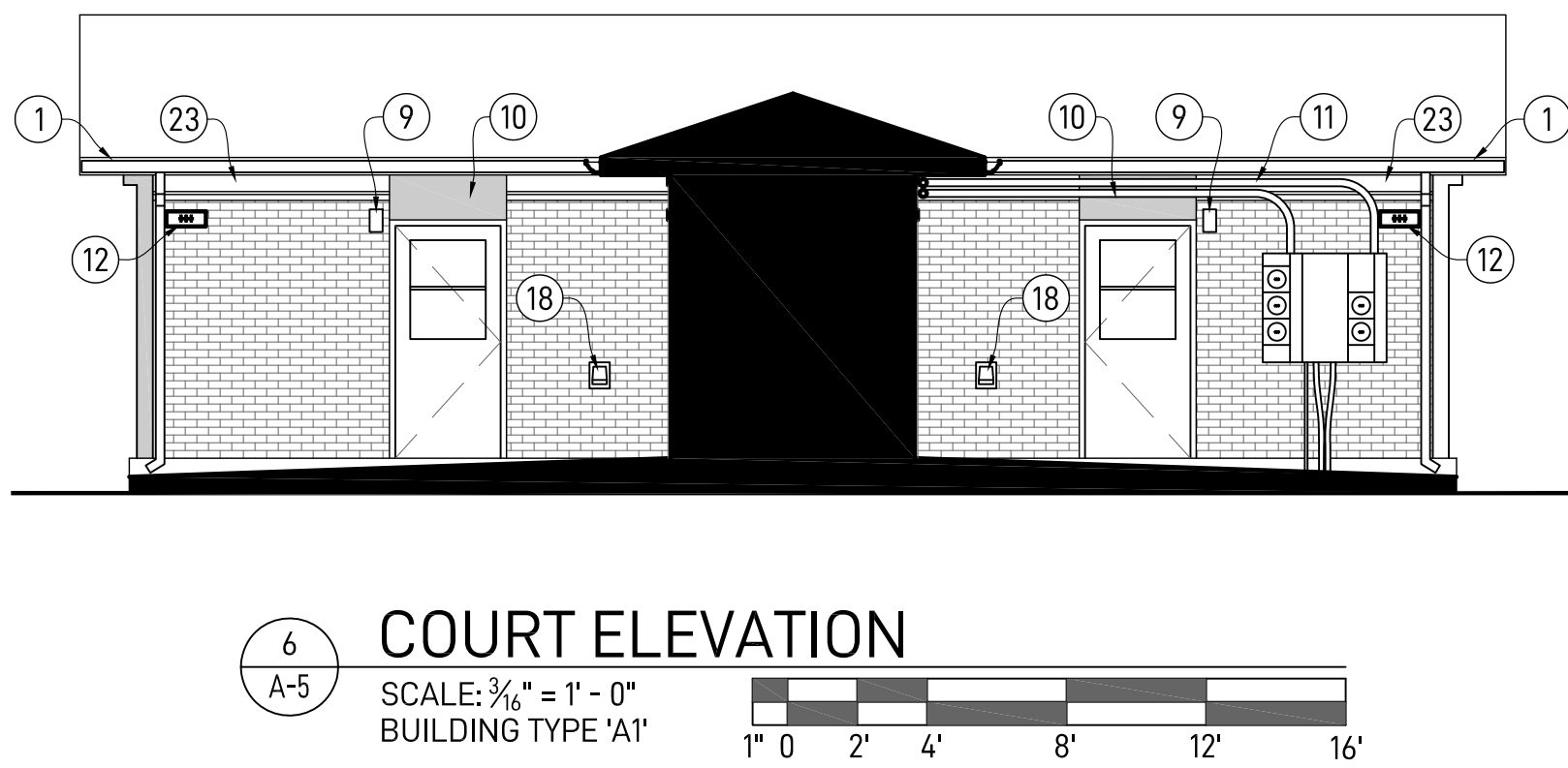
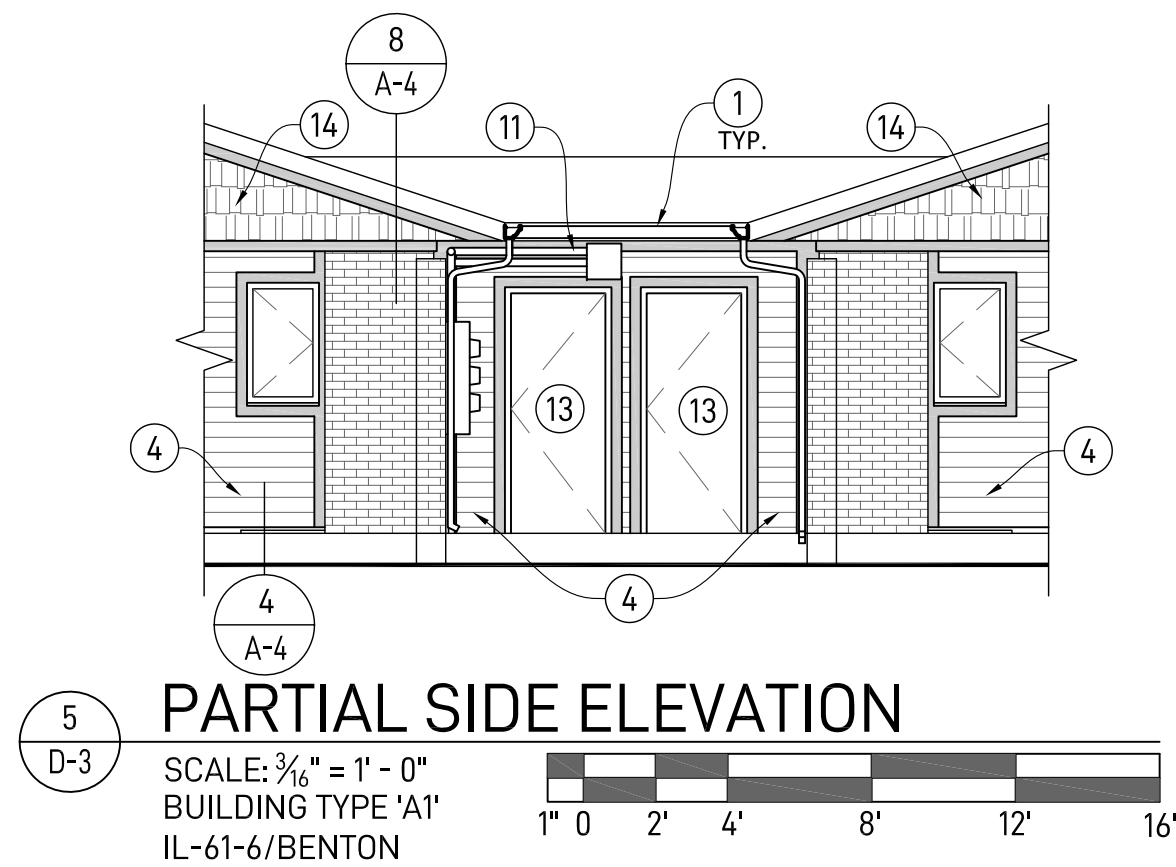
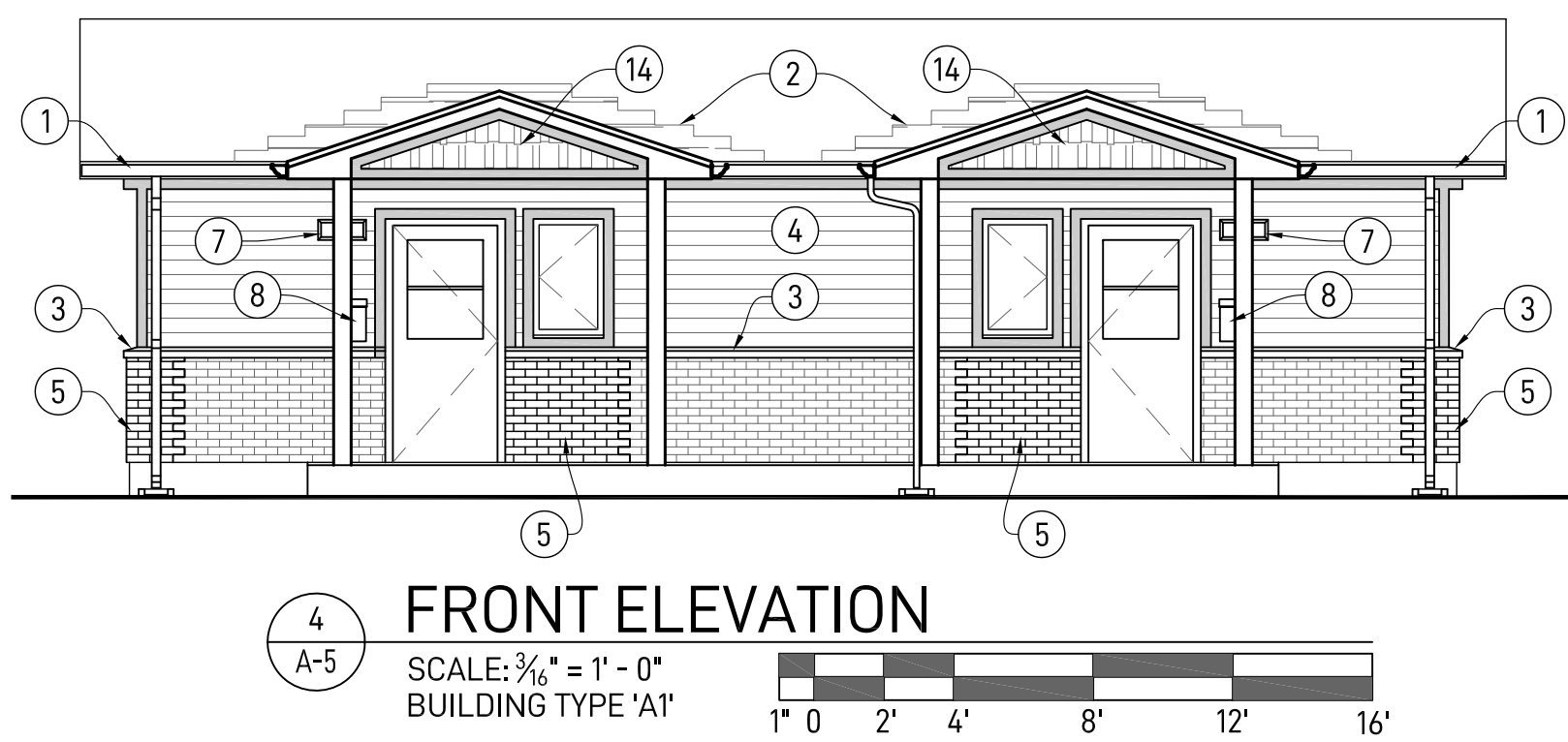
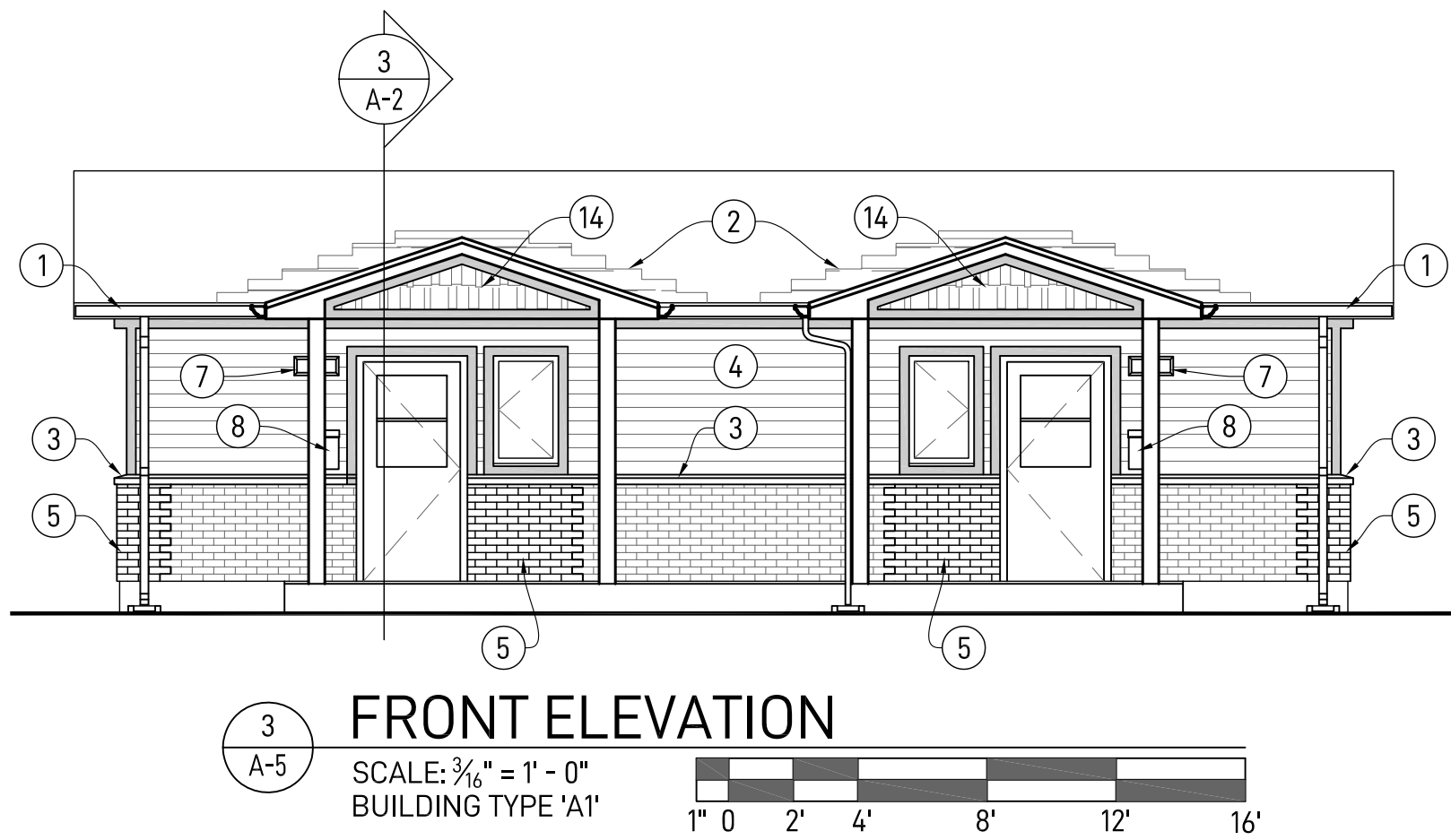
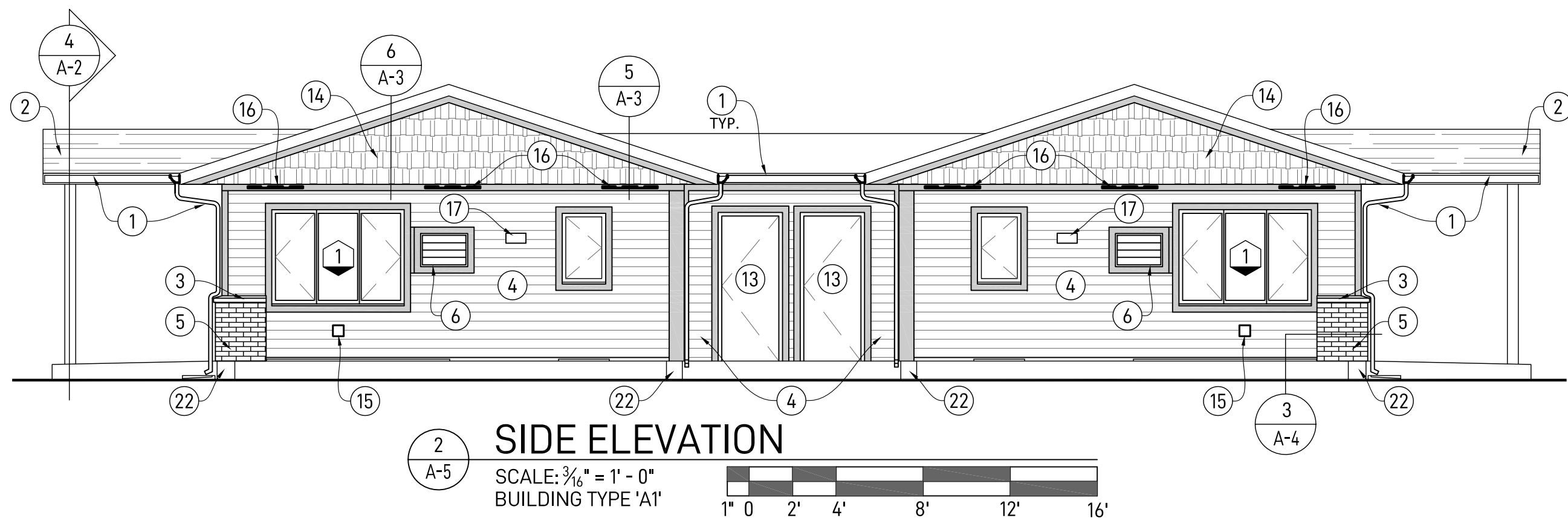
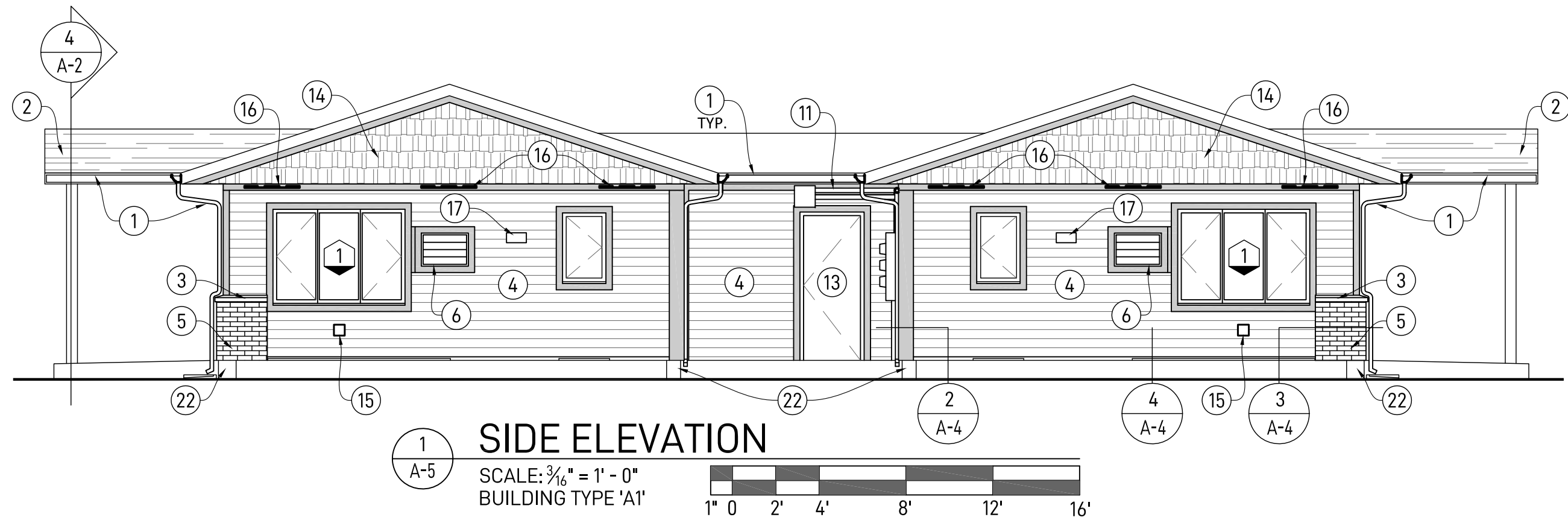
ELEVATION GENERAL NOTES

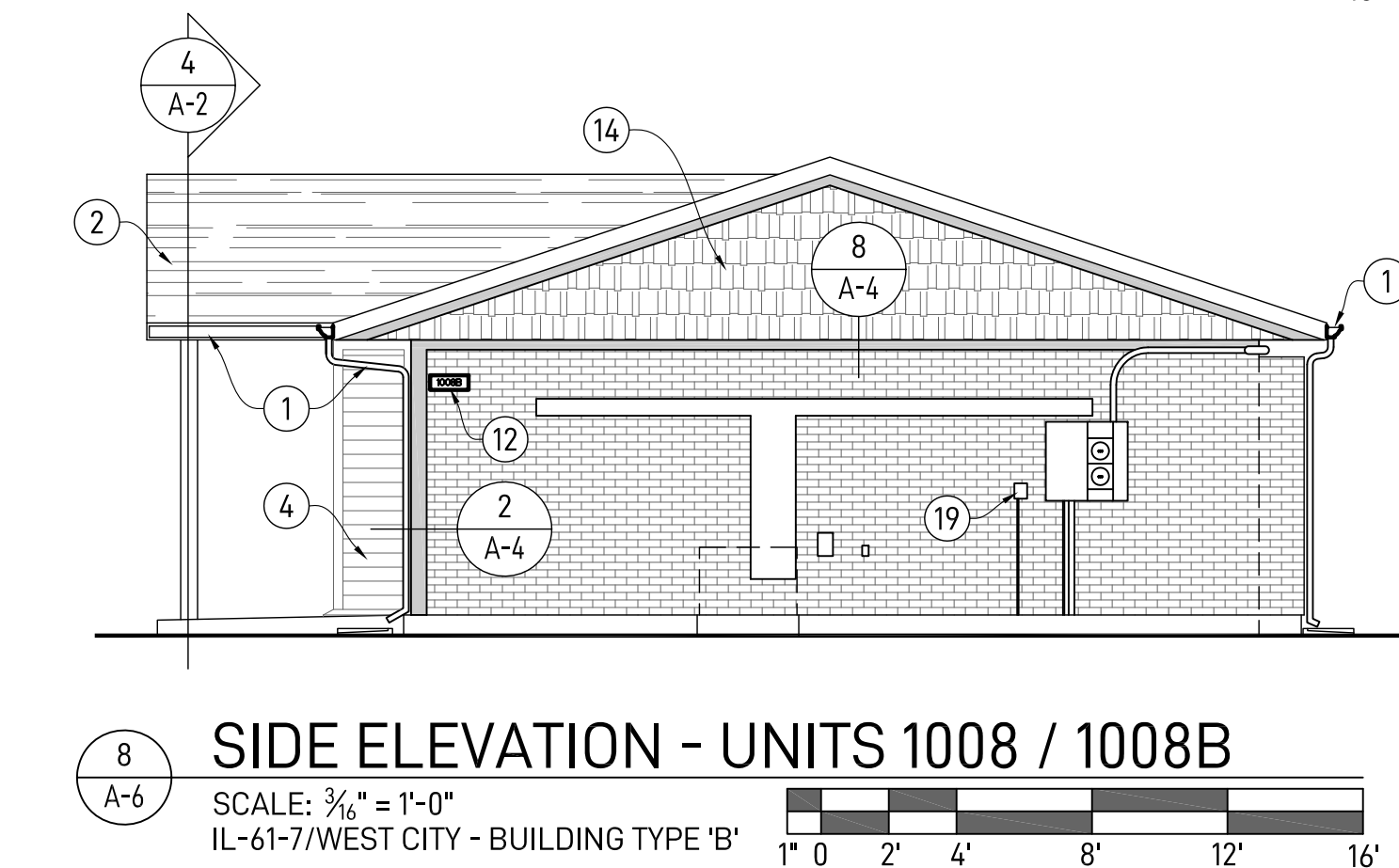
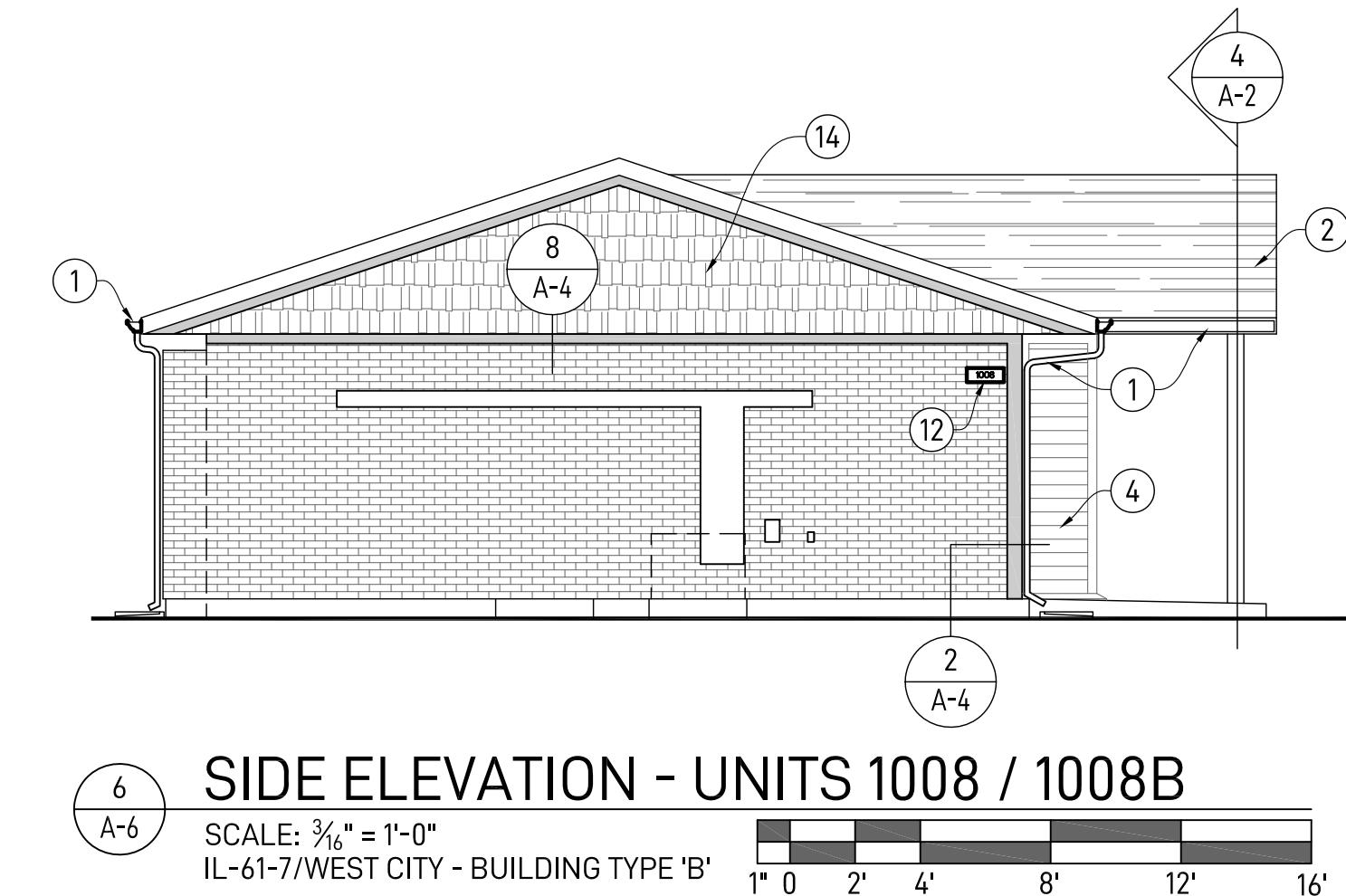
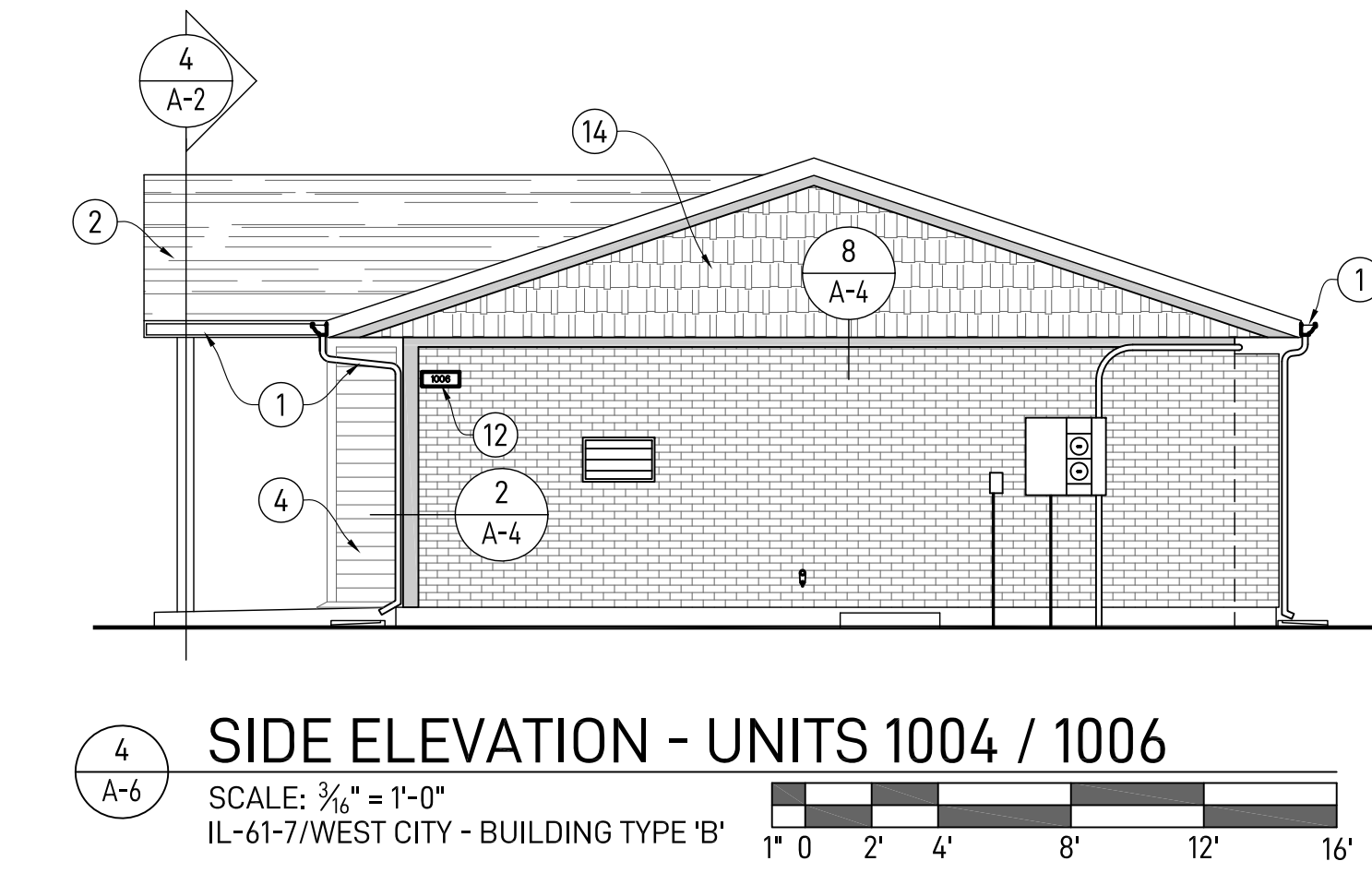
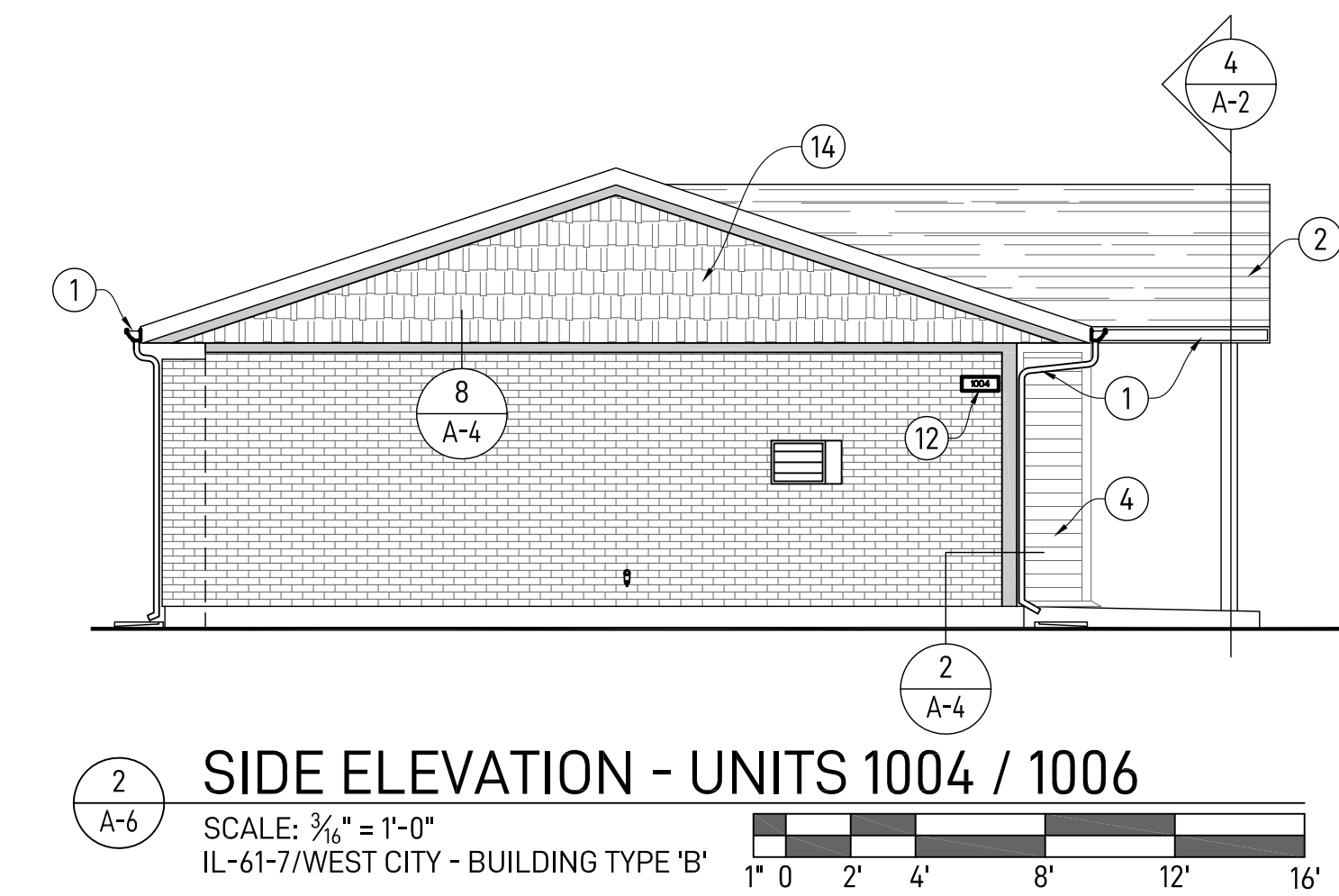
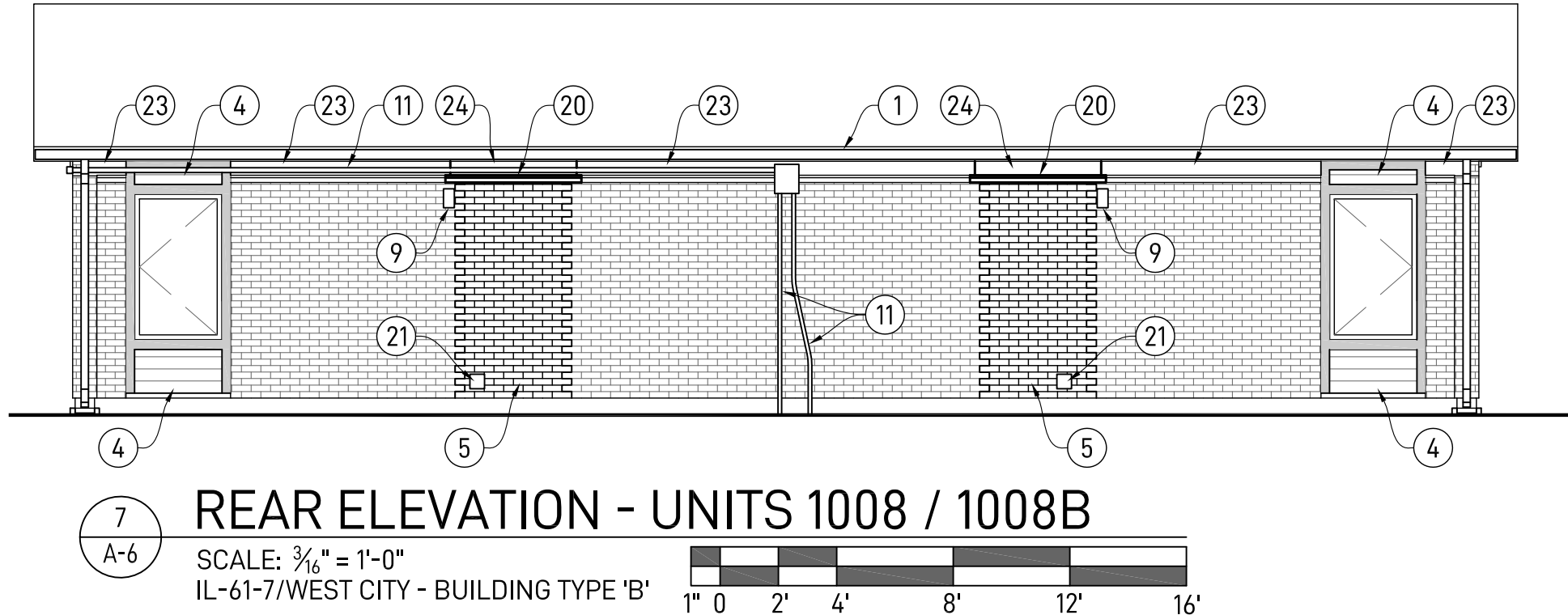
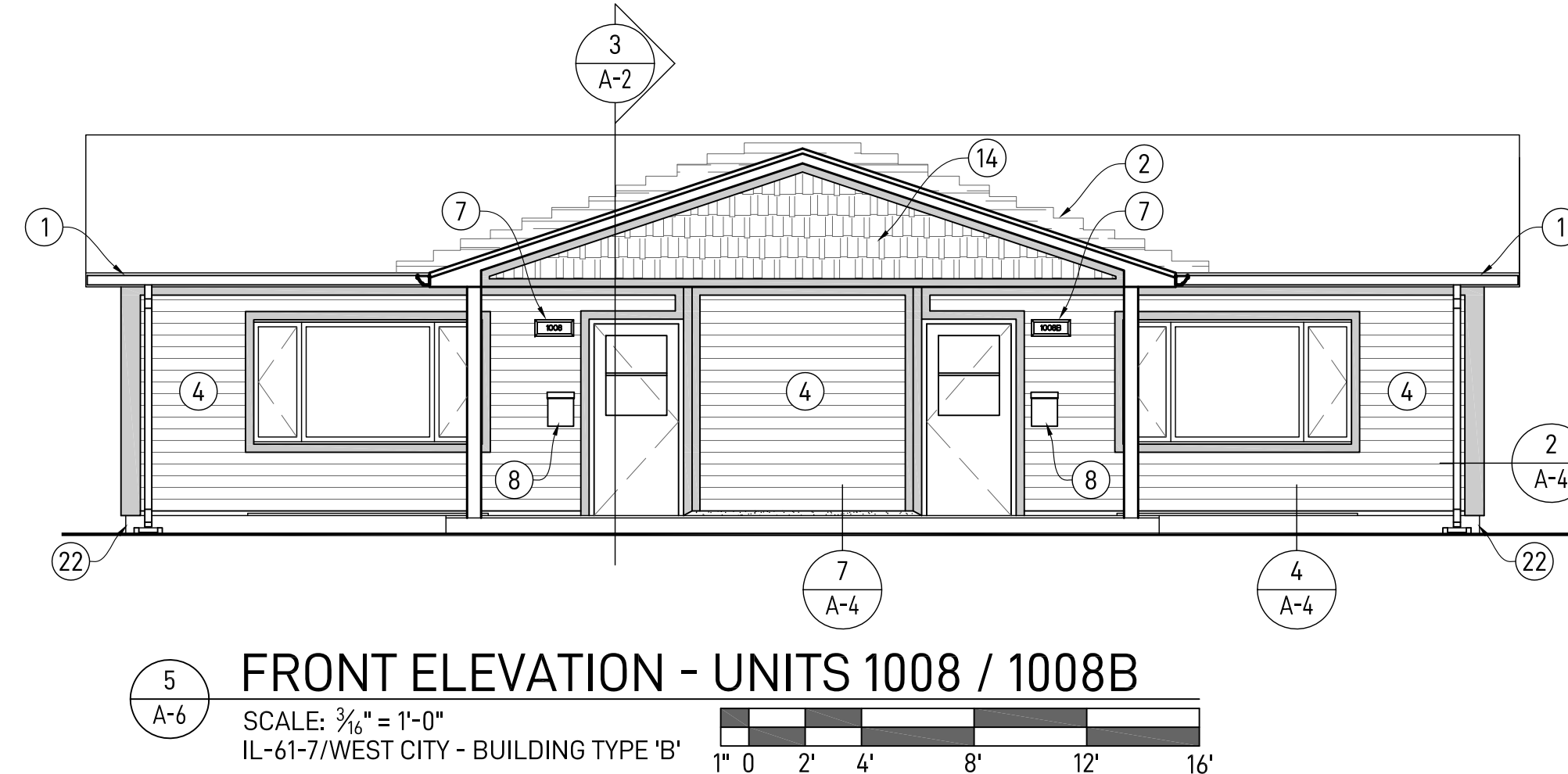
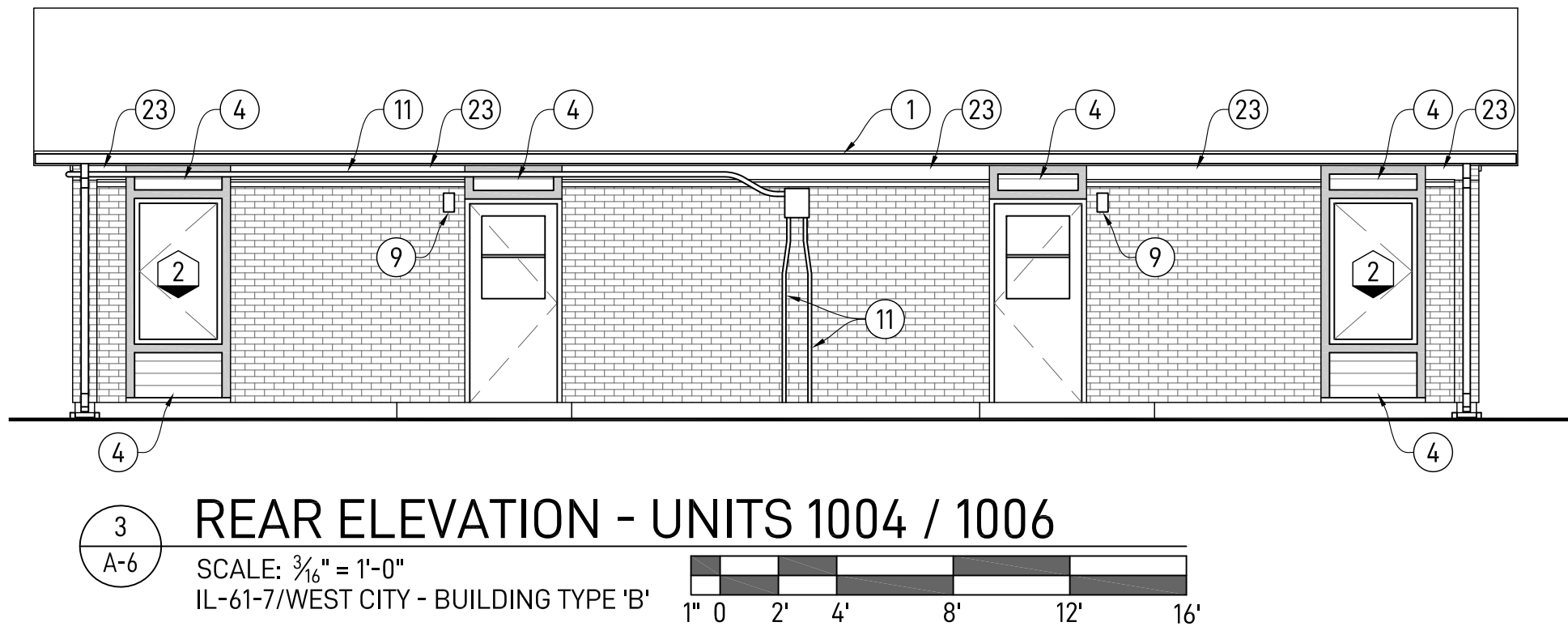
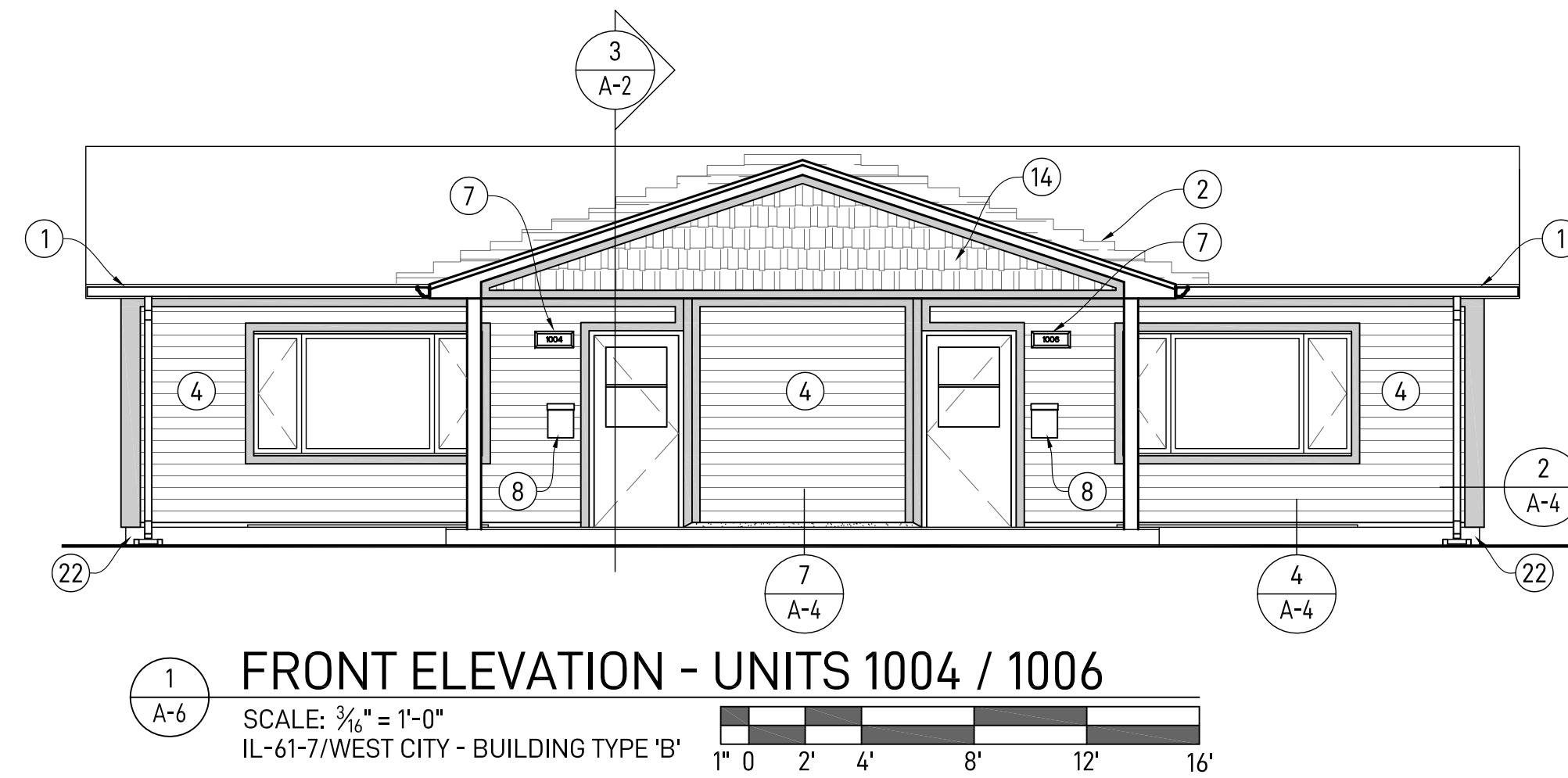
(SHEETS A-5 THRU A-6)

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY TO WORK WITH EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
2. REMOVE ALL ABANDONED CONDUIT ANCHORS, CABLE ANCHORS, DOWNSPOUT BRACKETS OR ANCHORS, AND OTHER UNUSED ANCHORS ON BRICK VENEER AND REPOINT HOLES.
3. CONTRACTOR SHALL REMOVE AND REPLACE ALL SEALANTS AROUND EXTERIOR DOORS AND WINDOWS.
4. CLEAN ALL BRICK VENEER PER SPEC. SECTION 04 52 50 AND PAINT ALL BRICK PER SECTION 09 90 00. (PRIMER & 2 COATS).
5. INSTALL $\frac{7}{16}$ " SHEATHING OVER EXISTING SHEATHING IN ALL AREAS SCHEDULED FOR NEW VINYL OR FIBER CEMENT SIDING. INSTALL DIRECTLY TO TRUSS AT GABLE ENDS. INSTALL BUILDING WRAP BEHIND SIDING & NEW BRICK.

ELEVATION KEY NOTES 'O' (SHEETS A-5 THRU A-6)

- | | | | |
|----|--|----|---|
| 1 | INSTALL NEW ALUMINUM GUTTERS AND DOWNSPOUTS. | 13 | REPLACE WOOD BRICKMOULD AT DOOR WITH $\frac{3}{4}$ x 4 PVC TRIM. CLEAN & PAINT DOOR. |
| 2 | LAMINATED ASPHALT SHINGLES AS SPECIFIED. | 14 | NEW VINYL SHAKE SIDING. |
| 3 | CAST STONE SILL - SEE DETAIL 5/A-4. | 15 | CABLE TV JACK LOCATION - SEE PE SHEETS. |
| 4 | FIBER-CEMENT LAP SIDING AND PVC TRIM OVER BUILDING WRAP. | 16 | STEEL LINTEL LOCATION. SEE DETAIL 5 ON SHEET A-3. |
| 5 | INFILL BRICK VENEER WHERE WINGWALLS & SIDING PANELS WERE REMOVED TO PROVIDE BRICK WAINSCOT AS SHOWN. REUSE EXISTING BRICK SALVAGED FROM DEMOLITION. TOOTH NEW BRICK INTO EXISTING FOR CONTINUOUS RUNNING BOND. CLEAN & PAINT BRICK PER GENERAL NOTE 4. | 17 | INSTALL NEW RANGE HOOD EXHAUST DUCT. |
| 6 | NEW AC SLEEVE - SEE DETAIL 6/A-4. | 18 | EXISTING DRYER VENT. |
| 7 | NEW ADDRESS SIGN LIGHT FIXTURE - SEE PE SHEETS. | 19 | TV/CABLE BOX (LOCATIONS VARY). SEE PE SHEETS. |
| 8 | NEW MAILBOX ON FIXTURE MOUNTED BLOCK. MODEL No. 4620 BY 'SALSBURY INDUSTRIES' OR APPROVED EQUAL. | 20 | INSTALL NEW METAL FLASHING - MATCH EXISTING PROFILE. OVERLAP EXISTING FLASHING BY 4" MINIMUM. |
| 9 | NEW LIGHT FIXTURE - SEE PE SHEETS. | 21 | INSTALL NEW DRYER VENT CAP. |
| 10 | NEW $\frac{1}{2}$ " THK. PVC PANEL. SEE DETAIL ON SHEET A-7. | 22 | PARGE COAT CORNER OF FOUNDATION WALL AS NECESSARY WHERE WINGWALLS WERE REMOVED. |
| 11 | COORDINATE WITH ELECTRICAL CONTRACTOR FOR TEMPORARY REMOVAL OF CONDUIT FOR REPLACEMENT OF SIDING /TRIM. | 23 | METAL FLASHING TO REMAIN. |
| 12 | NEW REFLECTIVE ADDRESS PLATE. SEE KEYNOTE 8 ON SHEET A-1. | 24 | INSTALL NEW FLASHING - MATCH EXISTING. OVERLAP EXISTING FLASHING BY 4" MINIMUM. |





SEE SHEET A-5 FOR GENERAL
NOTES AND KEY NOTES

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Project No: 2210

Drawn By: ERB

Checked By:

Approved By:

Date of Issue: 8/1/2022

Revisions

△ Date:

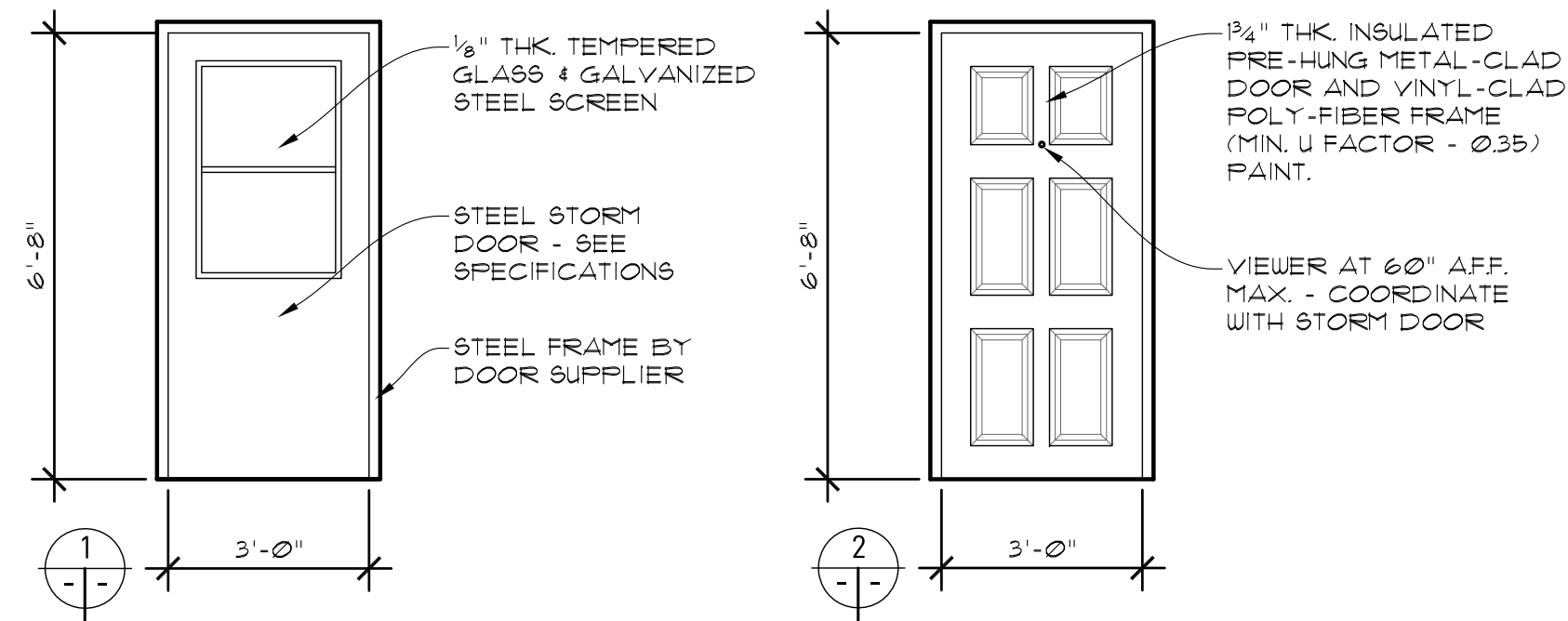
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Sheet Title: EXTERIOR ELEVATIONS

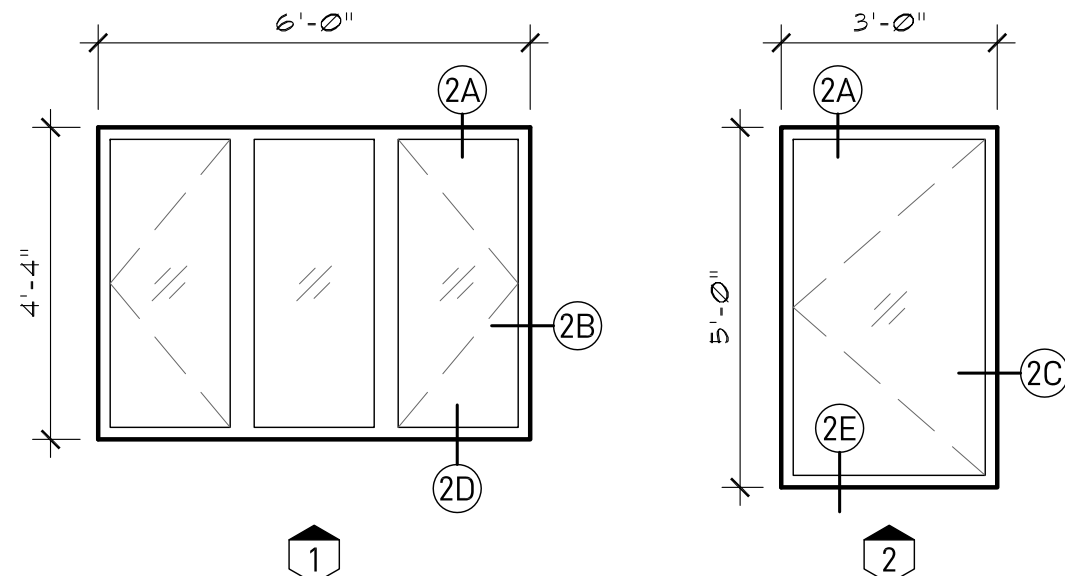
BUILDING TYPE 'B'

Sheet No: A-6

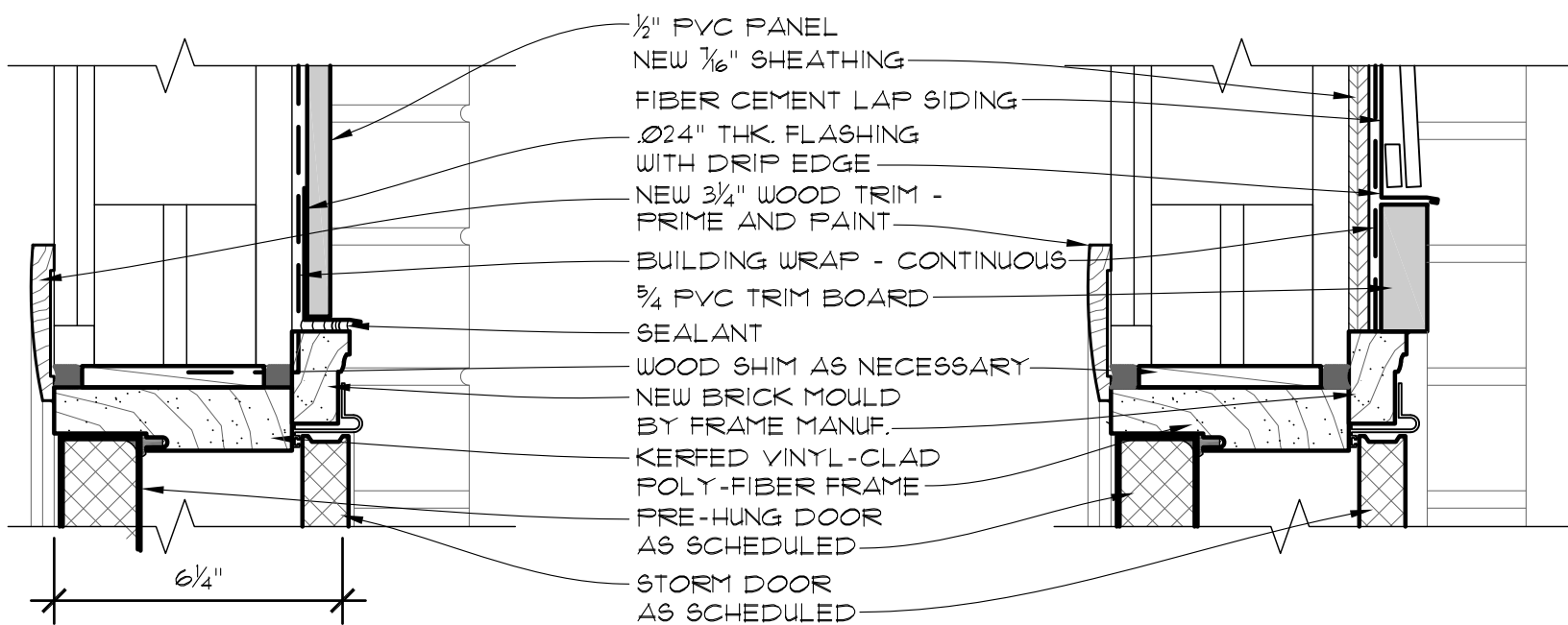
Of 7 Sheet(s)



DOOR SCHEDULE
NOT TO SCALE

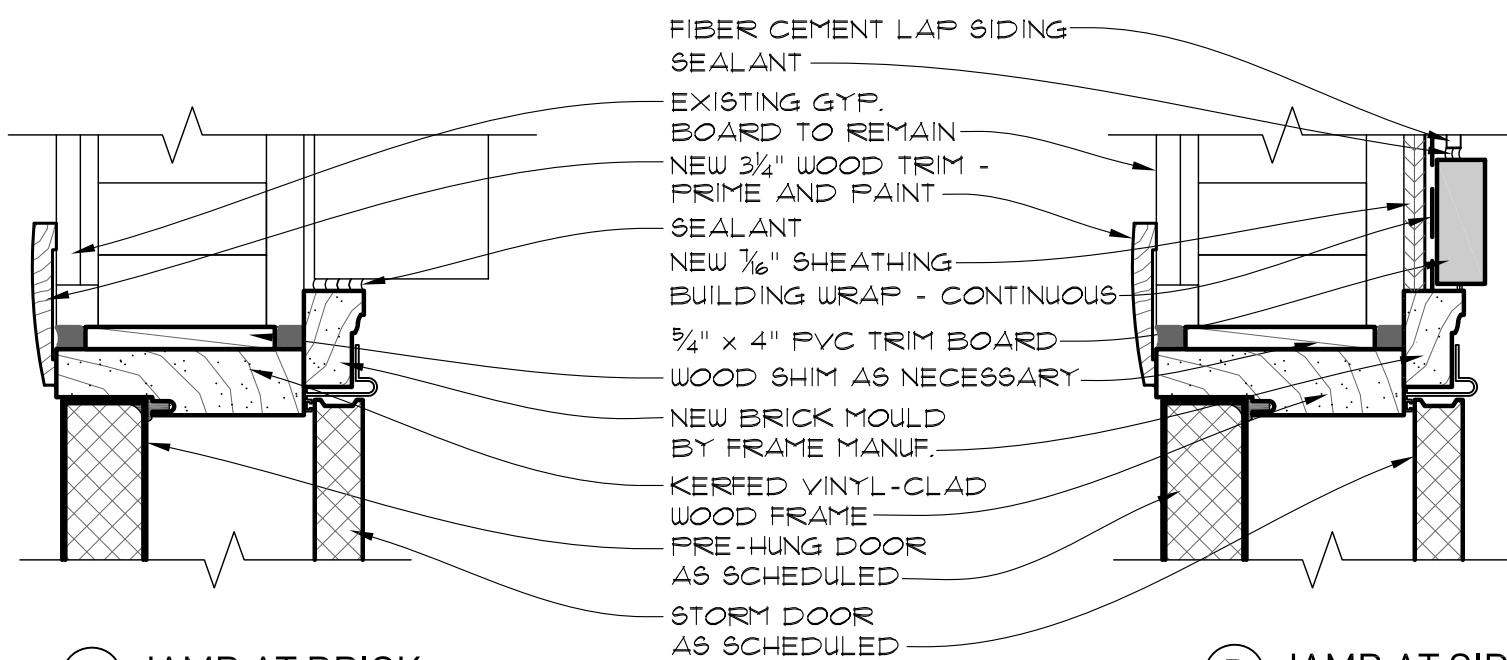


WINDOW SCHEDULE
NOT TO SCALE



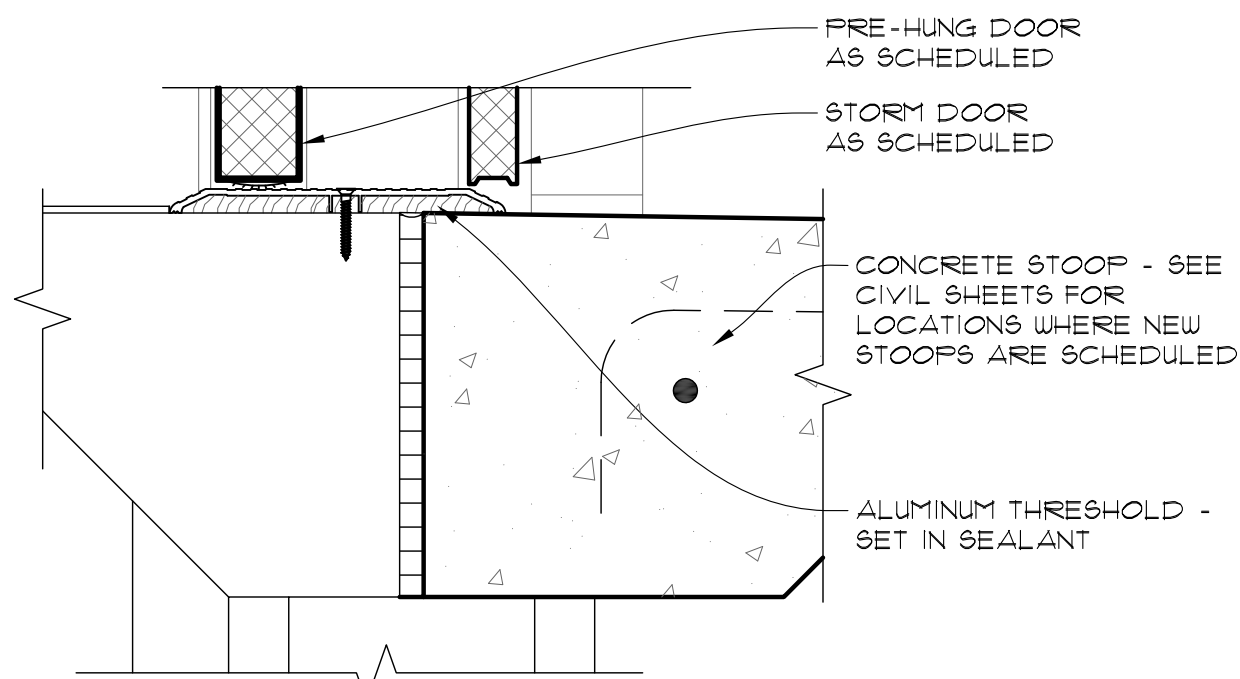
(A) HEAD AT PANEL

(B) HEAD AT SIDING



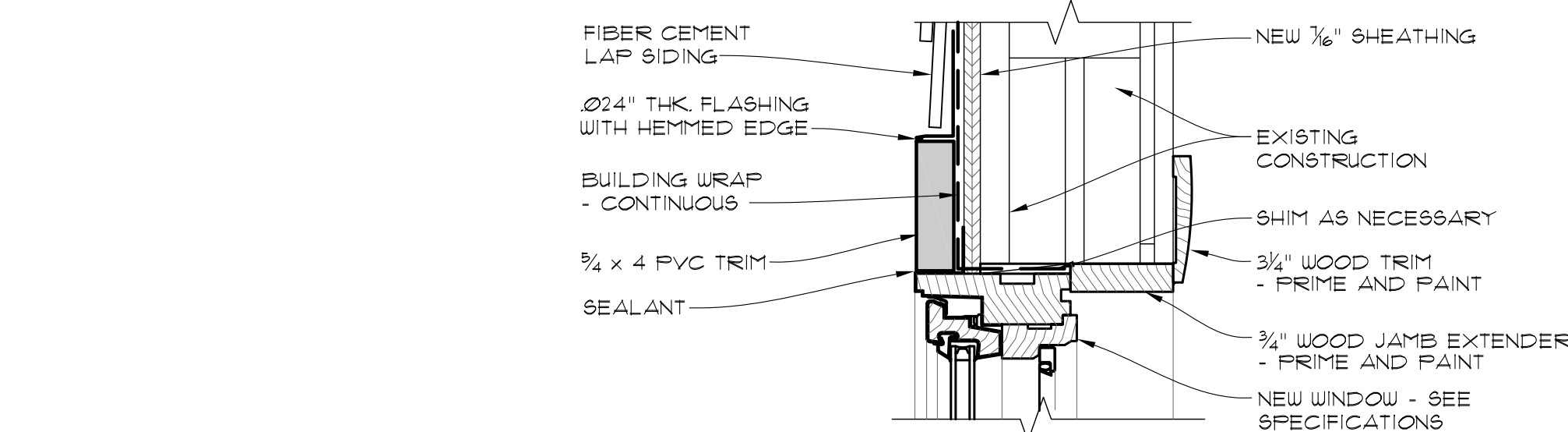
(C) JAMB AT BRICK

(D) JAMB AT SIDING

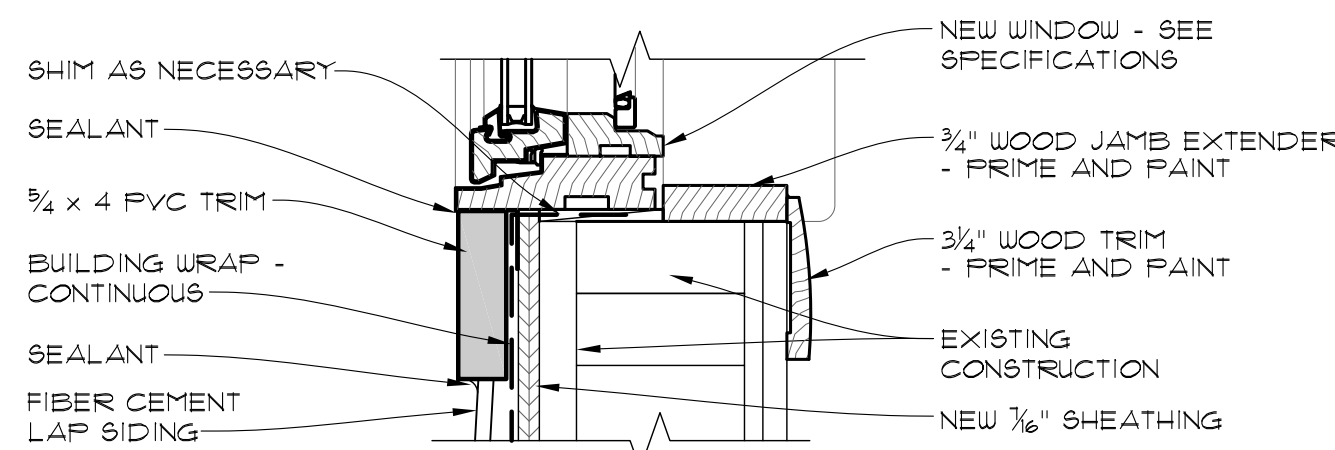


(E) SILL

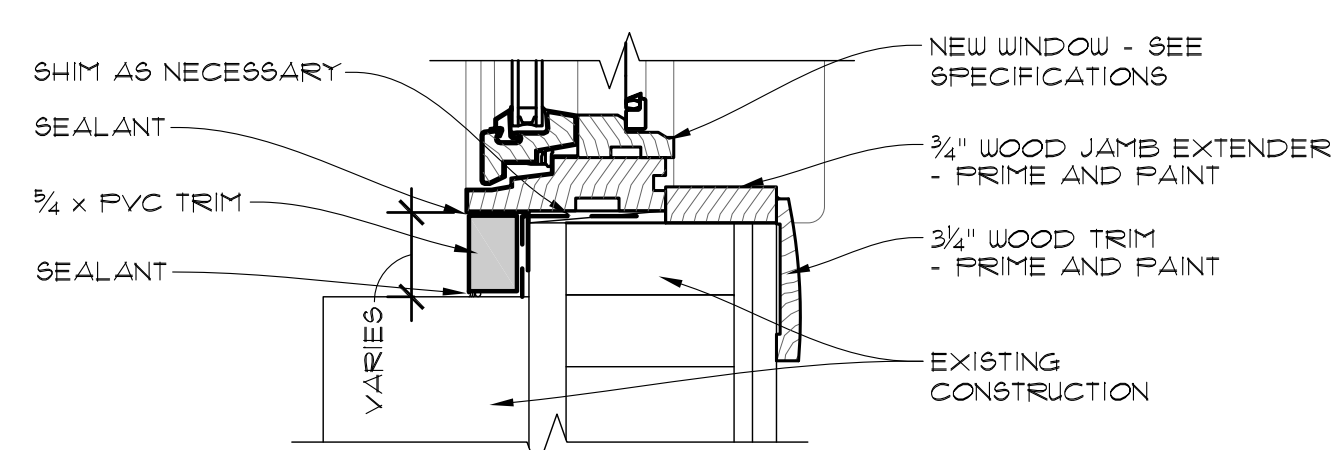
1
A-7
EXTERIOR DOOR DETAILS
SCALE: 3" = 1'-0"
1" 0 3" 6" 9" 1'



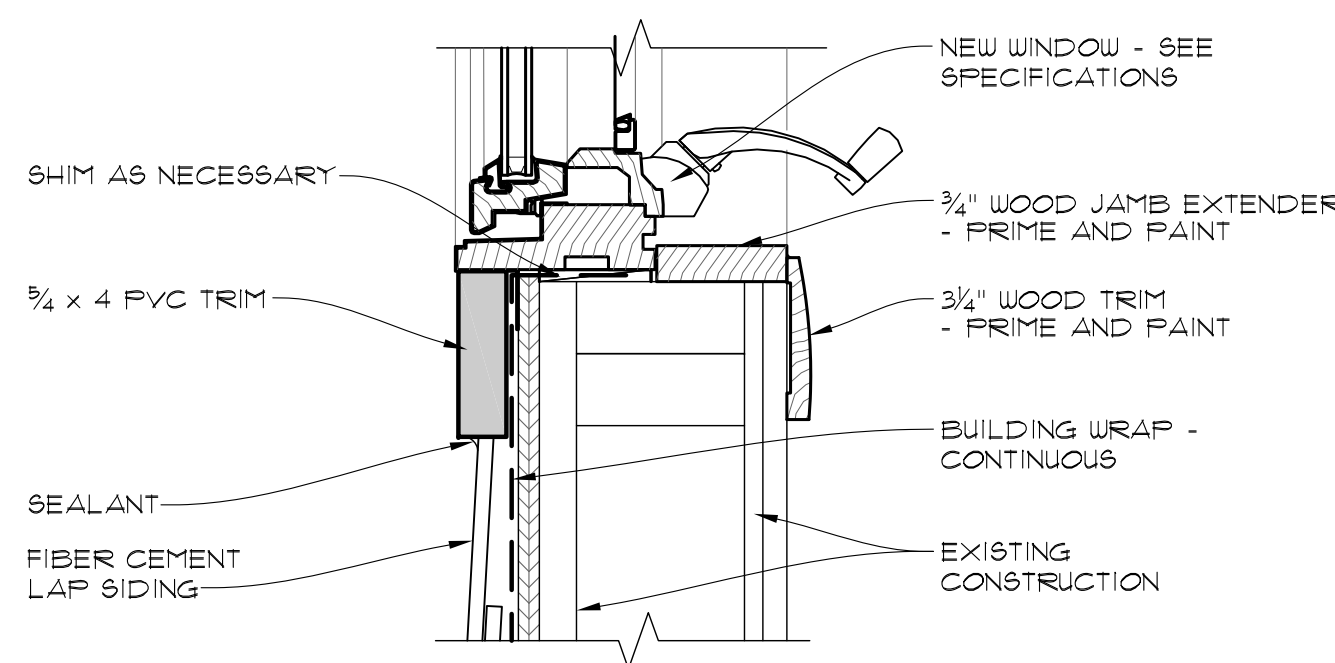
(A) HEAD



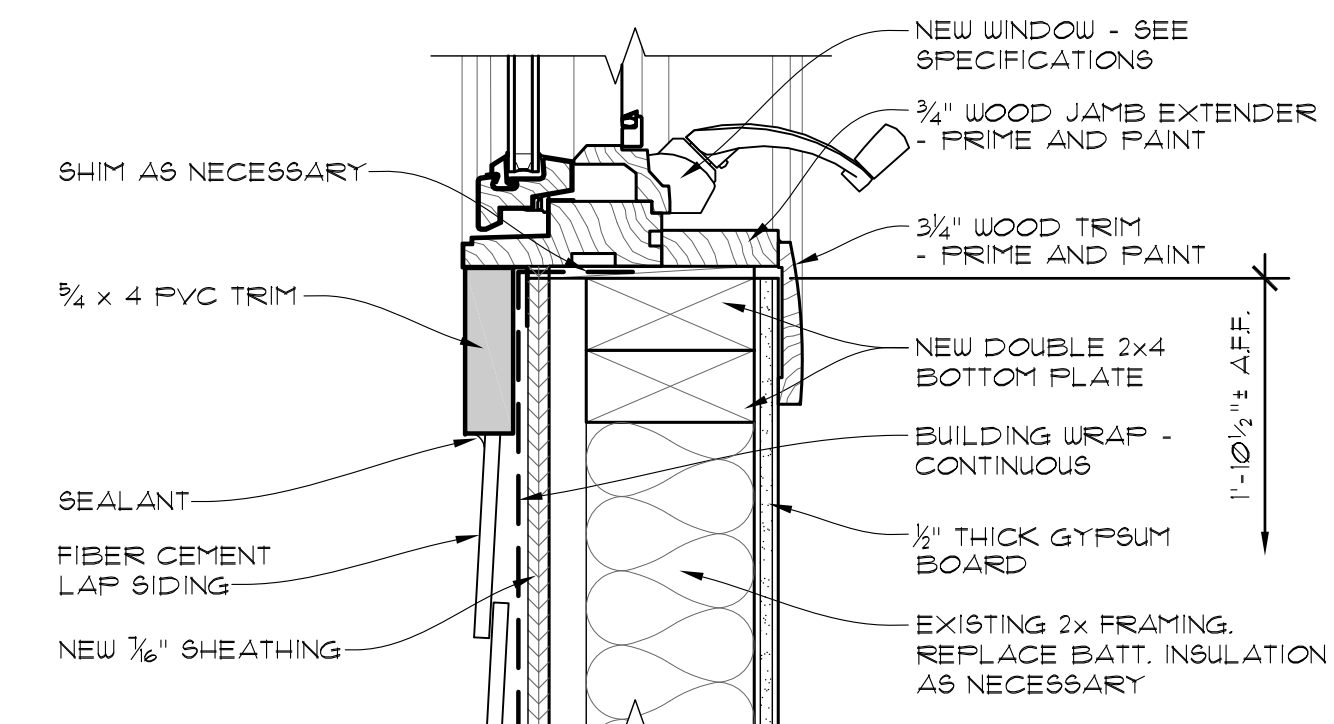
(B) JAMB AT SIDING



(C) JAMB AT BRICK

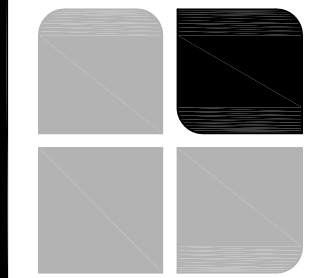


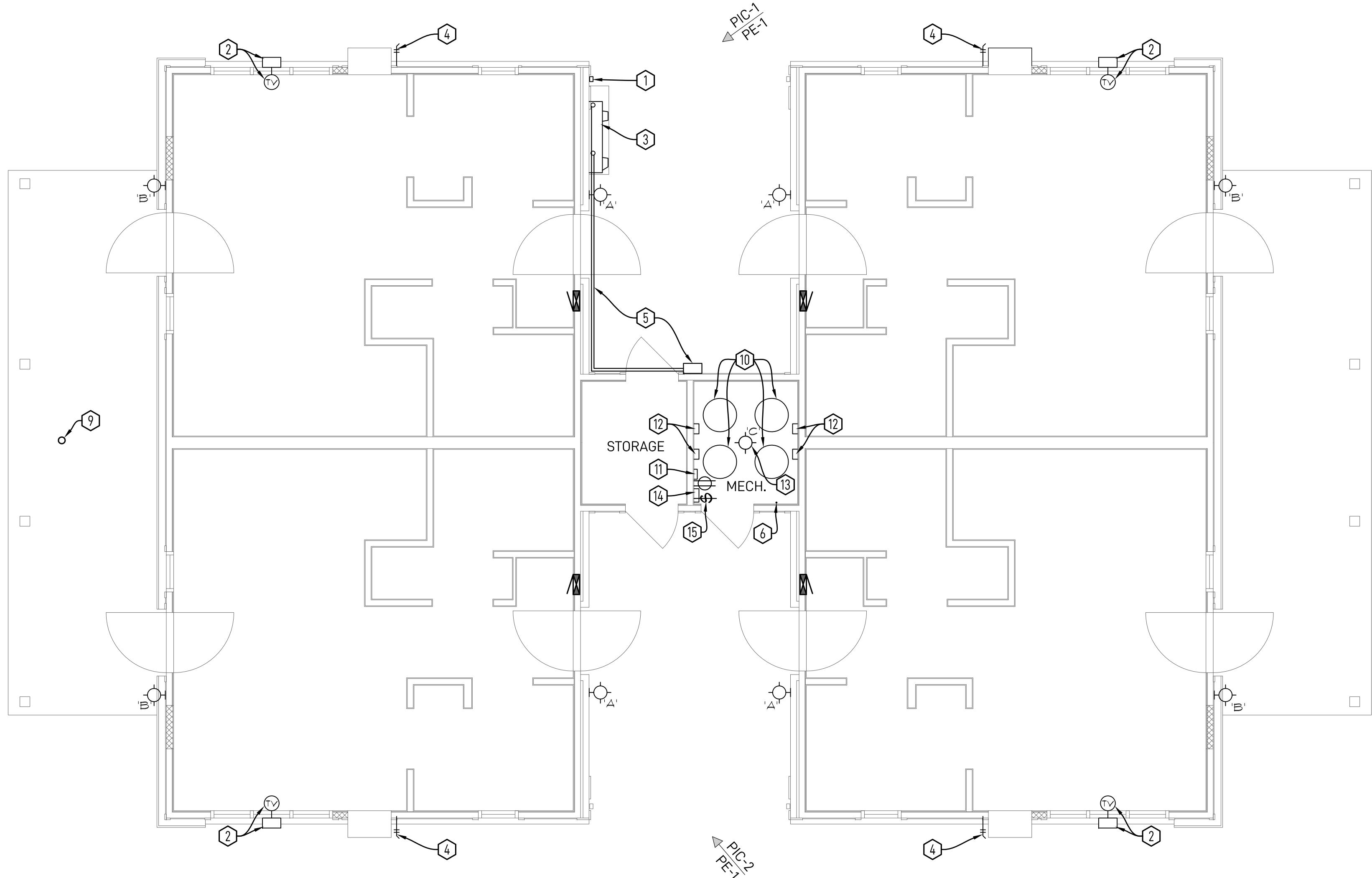
(D) SILL AT SIDING (TYP.)



(E) SILL AT UNITS 1004/1006

2
A-7
EXTERIOR WINDOW DETAILS
SCALE: 3" = 1'-0"
1" 0 3" 6" 9" 1'





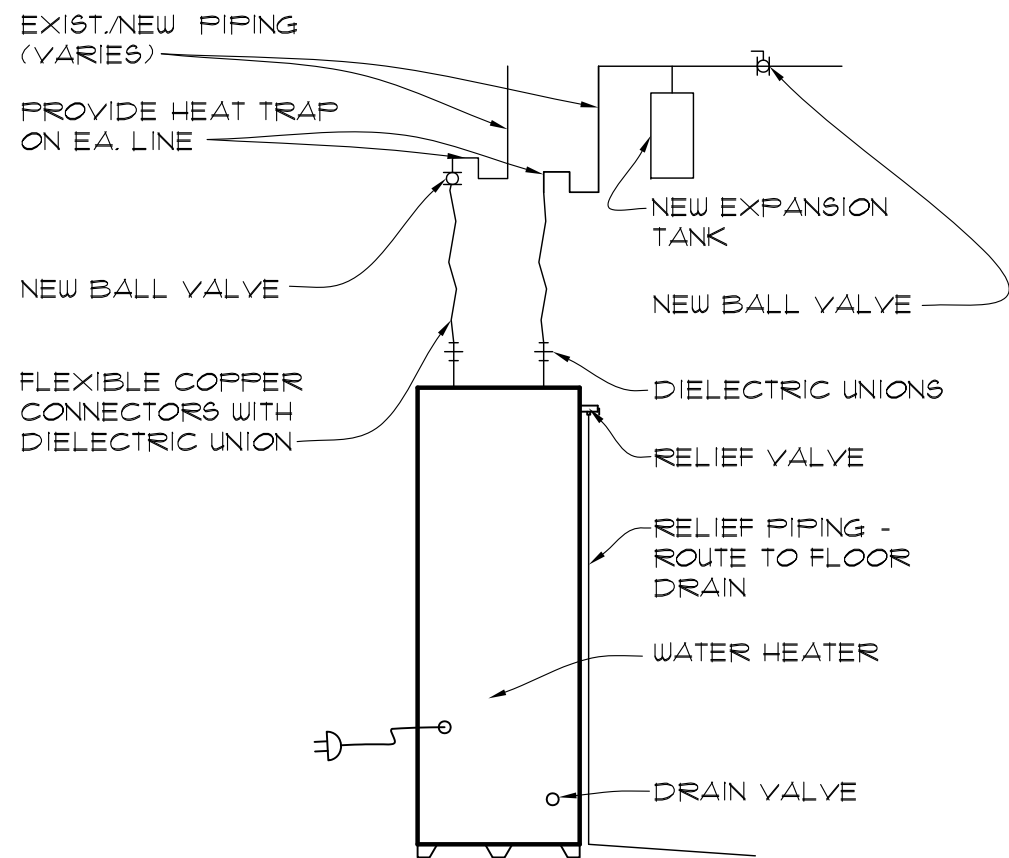
ELECTRICAL AND PLUMBING PLAN - BUILDING TYPE 'A1'
SCALE: 1/4" = 1' - 0"
IL-61-6/BENTON & IL-61-7/WEST CITY



PIC 1



PIC 2



ELEC. WATER HEATER DETAIL
NOT TO SCALE

GENERAL NOTES (SHEETS PE-1 THRU PE-2)

- CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND MAKE ADJUSTMENTS AS NECESSARY TO WORK WITH EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- REMOVE AND DISPOSE OF ALL EXISTING TELEVISION CABLE AND PHONE LINES ATTACHED TO EXTERIOR OF BUILDINGS. EXISTING BURIED PHONE AND CABLE LINES AND ASSOCIATED ACCESS BOXES TO REMAIN. DISCONNECT WIRES FROM BOXES AND REMOVE ALL WIRES AND ANCHORS FROM EXTERIOR OF BUILDING.
- COORDINATE ALL WORK WITH GENERAL CONTRACTOR.
- THE LAYOUTS SHOWN ON THESE DRAWINGS ARE NECESSARILY DIAGRAMMATIC BUT SHALL BE FOLLOWED AS CLOSELY AS ACTUAL CONSTRUCTION WILL PERMIT. CHANGES FROM THESE DRAWINGS REQUIRED TO MAKE WORK CONFORM TO EXISTING BUILDING CONDITIONS SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE PHA, BUT ONLY WITH PRIOR APPROVAL OF THE ARCHITECT. ALL NEW EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS NOTED OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
- ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
- REMOVE ALL EXTERIOR LIGHT FIXTURES AND REPLACE WITH NEW LIGHT FIXTURES AS SCHEDULED. CONNECT NEW EXTERIOR LIGHT FIXTURES TO EXISTING CONDUCTORS. ADJUST/REPLACE FIXTURE BOX AS NECESSARY DUE TO NEW EXTERIOR FINISH.
- ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.

KEY NOTES (SHEETS PE-1 THRU PE-2)

- RELOCATE EXISTING TELEPHONE INTERFACE BOX AS NECESSARY DUE TO WING WALL REMOVAL. HOMERUN ONE TELEPHONE OUTLET FROM EACH UNIT TO THIS INTERFACE AND CONNECT TO INTERFACE.
- PROVIDE CABLE TV JACK, 18 INCHES ABOVE FLOOR, WITH COAXIAL CABLE FROM JACK TO NEW INTERFACE JUNCTION BOX ON EXTERIOR WALL (NEMA 3R, 9" x 9" x 3" DEEP FIBERGLASS). PROVIDE WEATHERPROOF 'F' CONNECTOR IN EACH BOX. HOMERUN FROM 'F' CONNECTOR TO UTILITY PEDESTAL AND CONNECT TO UTILITY. ALL COAX TO BE WITHOUT SPLICES AND TO BE CONCEALED BEHIND EXTERIOR FINISHES OR IN PAINTED CONDUIT - COORDINATE WITH GENERAL CONTRACTOR AND UTILITY COMPANY. COORDINATE WITH CABLE SUPPLIER. NO SPLICING OF COAXIAL CABLE SHALL BE ALLOWED. COORDINATE EXTERIOR JUNCTION BOX LOCATION WITH PHA AND CABLE SUPPLIER. LABEL ALL CABLES ACCORDINGLY.
- EXISTING ELECTRICAL METER LOCATION.
- REMOVE EXISTING HOSE BIBB. CAP SUPPLY LINE IN EXTERIOR WALL AND INSULATE.
- TEMPORARILY LOOSEN SURFACE BOXES & CONDUIT TO DWELLING UNIT LOAD CENTER / SITE LIGHTING FOR SIDING REPLACEMENT AND PAINTING OF BRICK. RESECURE TO NEW FINISHES.
- INSTALL 3/4" HOSE BIBB CONNECTION WITH VACUUM BREAKER IN COLD WATER SUPPLY. INSTALL IN ACCESSIBLE LOCATION. PROVIDE PROPER SUPPORT.
- EXISTING HOSE BIBB TO REMAIN.
- MODIFY EXISTING CLEANOUT TO BE FLUSH WITH GRADE. INSTALL 1'-4" ROUND CONCRETE PAD AROUND PIPE. INSTALL NEW BRASS CAP. SEE DETAIL ON SHEET PE-2.
- MODIFY EXISTING CLEANOUT TO BE FLUSH WITH NEW STOOP (LOCATIONS VARY) - SEE CIVIL DRAWINGS. PROVIDE NEW BRASS CAP.
- AT UNITS 112, 114, AND 116 - PROJECT IL-61-6/BENTON AND UNITS 201, 203, 1000, AND 1002 - PROJECT IL-61-7/WEST CITY: REMOVE EXISTING ELECTRIC WATER HEATER AND INSTALL NEW ELECTRIC WATER HEATER (WH). MODIFY EXISTING WATER PIPING AS NECESSARY. PROVIDE NEW EXPANSION TANK. SEE DETAIL ON THIS SHEET. COORDINATE WITH ELECTRICAL CONTRACTOR. INSULATE ALL NEW AND EXISTING PIPING THROUGHOUT MECHANICAL ROOM.
- EXISTING LOAD CENTER TO REMAIN.
- EXISTING DISCONNECT FOR WATER HEATER TO REMAIN. TEMPORARILY REMOVE AND REINSTALL AT IL-61-7/WEST CITY FOR GYP. BOARD REPLACEMENT. PROVIDE NEW FLEX CONDUIT AND CONDUCTORS TO NEW WATER HEATERS.
- REPLACE LIGHT FIXTURE AT IL-61-7/WEST CITY ONLY.
- AT IL-61-7/WEST CITY ONLY: REMOVE EXISTING DUCTED HIGH/LOW ELECTRICAL WALL HEATER AND REPLACE WITH ELECTRICAL HEATER (EH-1). REMOVE EXISTING THERMOSTAT. CONNECT NEW HEATER TO EXISTING POWER CONDUCTORS.
- AT IL-61-7/WEST CITY ONLY: REPLACE EXISTING SWITCH AND EXISTING RECEPTACLE. PROVIDE NEW SWITCH & GFCI RECEPTACLE AND PLATE.

LEGEND OF SYMBOLS (SHEETS PE-1 THRU PE-2)

- | | | | |
|--|--|--|---|
| | NEW WALL MOUNTED LIGHT FIXTURE (TYPE NOTED - SEE LIGHT FIXTURE SCHEDULE) | | NEW CABLE JACK AND PLATE (18" AFF) |
| | LOCATION OF EXISTING LOAD CENTER | | PIC-1
PE-2
PICTURE NUMBER AND DIRECTION SHEET PICTURE IS FOUND ON |

LIGHT FIXTURE SCHEDULE (SHEETS PE-1 THRU PE-2)

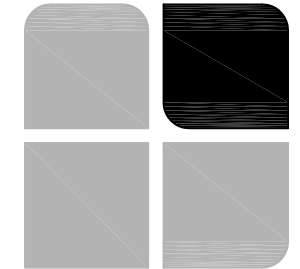
TAG	MANUFACTURER	CATALOG No.	LAMP/WATTAGE	MOUNTING AND REMARKS
A	SUNPARK ELECTRONICS CORP.	JJ3D-3000K	LED/11W	WALL MOUNTED
B	ADDRESS-O-LITE	-	LED/6W	WALL MOUNTED, WHITE FINISH
C	JULLISON	DL6IN3KWH8P	LED/15W	CEILING MOUNTED, WHITE FINISH

- NOTES:**
- LIGHT FIXTURES SHALL BE MANUFACTURER LISTED OR PRIOR APPROVED EQUAL.
 - ALL FIXTURES SHALL HAVE LAMPS SUPPLIED AND INSTALLED IN FIXTURE.

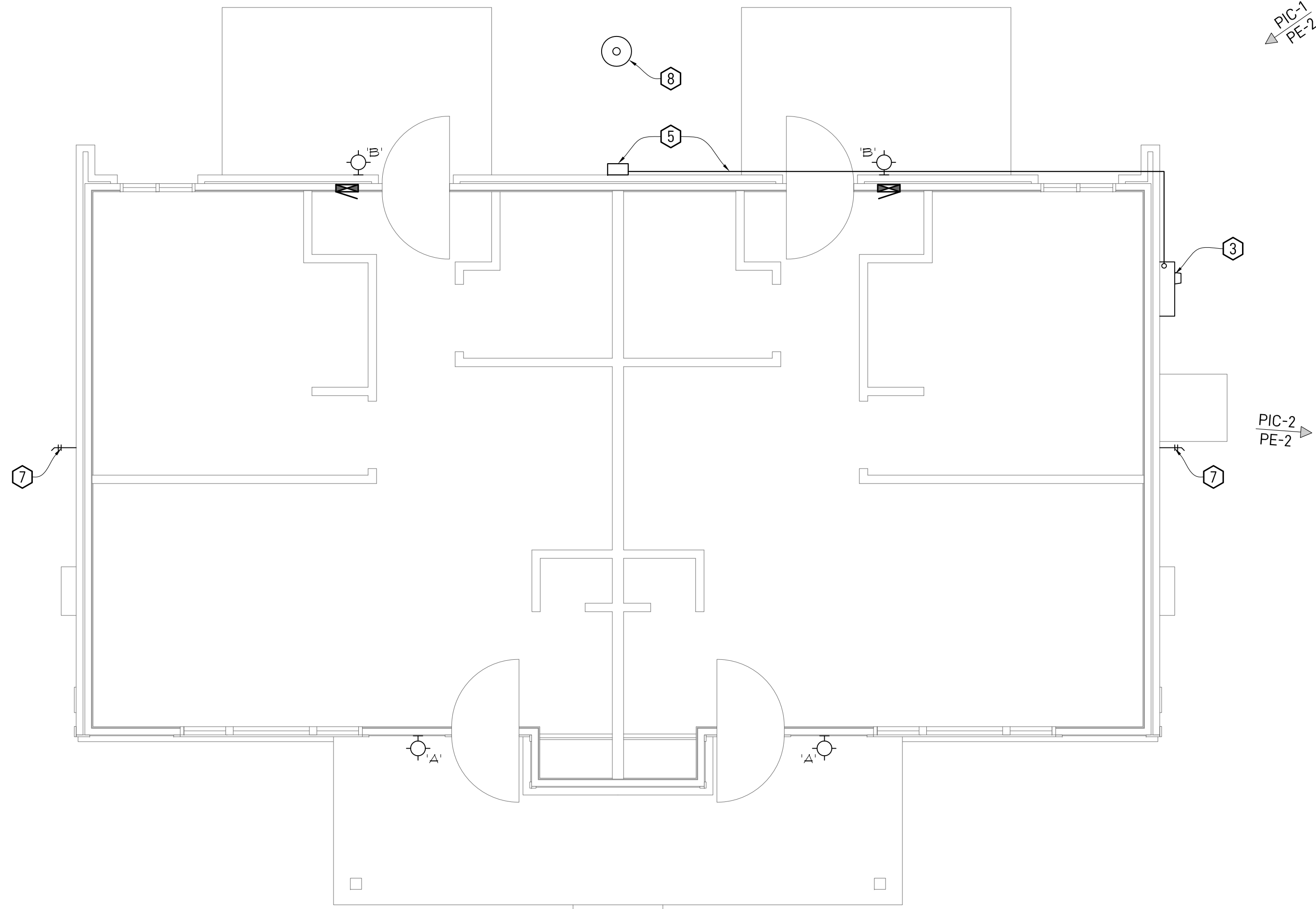
ELECTRIC HEATER SCHEDULE (THIS SHEET ONLY)

SYMBOL	MANUFACTURER	CATALOG No.	WATTS	VOLTS	NOTES
EH-1	BERKO	SRA20204DSF	2000/1000	240	1, 2, 3

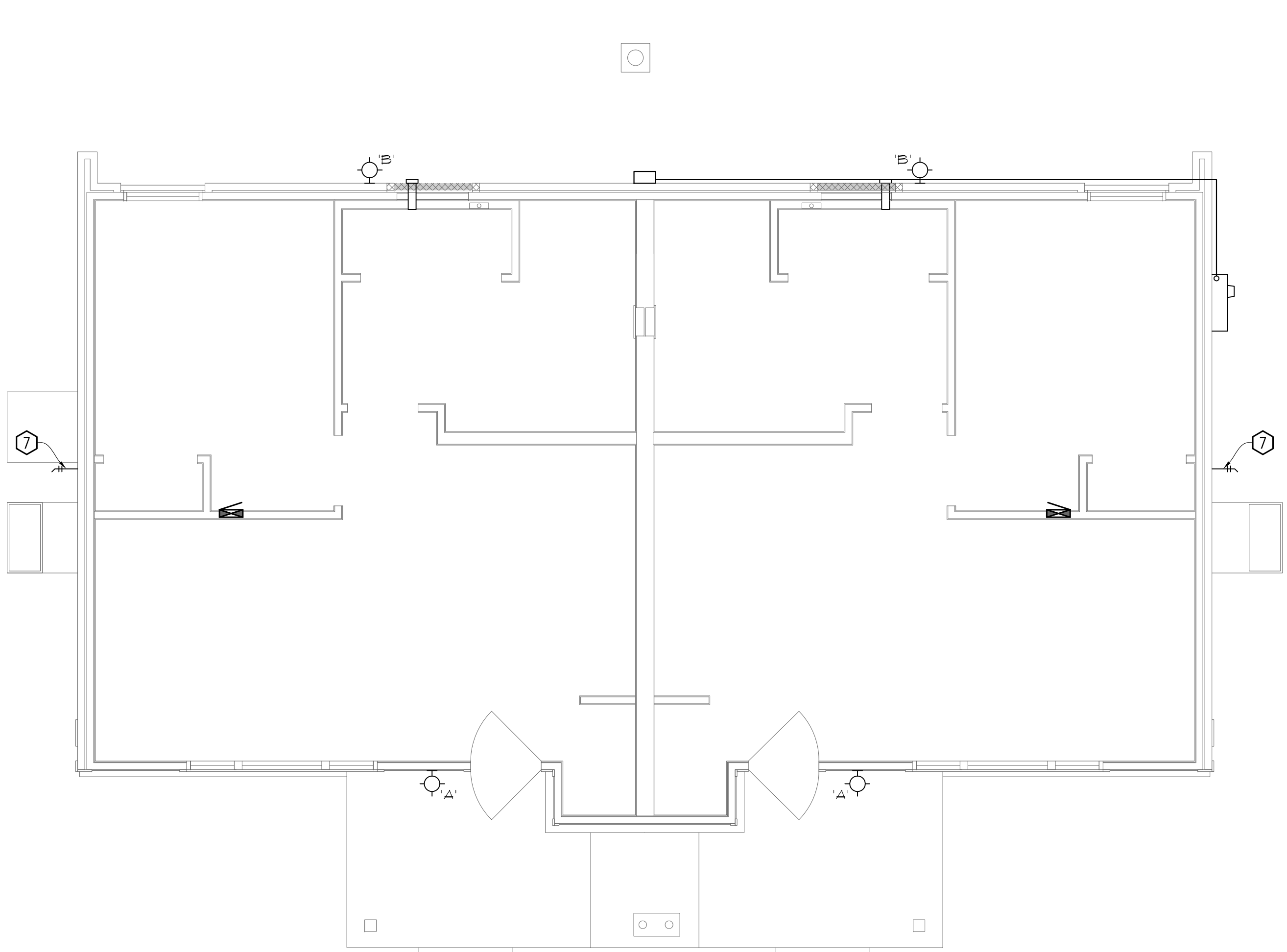
- NOTES:**
- ELECTRIC HEATERS SHALL BE BERKO, CHROMALOX, EMERSON, OR APPROVED EQUAL.
 - MOUNT FLUSH IN WALL AT 24" AFF. ADD FRAMING AS NECESSARY.
 - HAS INTEGRAL THERMOSTAT.



SEE SHEET PE-1 FOR ELECTRICAL AND PLUMBING GENERAL NOTES, KEY NOTES, LEGEND OF SYMBOLS, AND FIXTURE SCHEDULE



1 RENOVATION PLAN - BUILDING TYPE 'B'
SCALE: 1/4" = 1'-0"
UNITS 1004 & 1006
NORTH



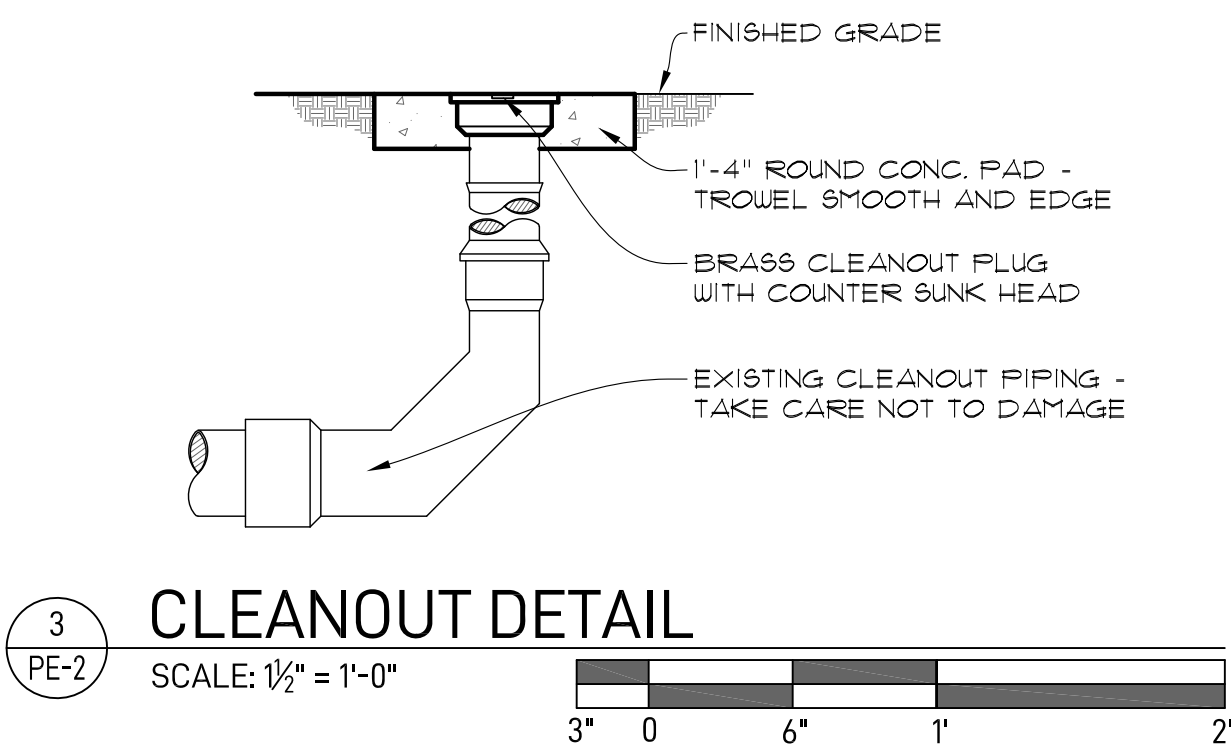
2 RENOVATION PLAN - BUILDING TYPE 'B'
SCALE: 1/4" = 1'-0"
UNITS 1008 & 1008B
NORTH



PIC 1



PIC 2



3 CLEANOUT DETAIL
SCALE: 1/2\"/>

